



## OROVILLE PLANNING COMMISSION/ HISTORICAL ADVISORY COMMITTEE

Council Chambers  
1735 Montgomery Street  
Oroville, CA. 95965

**April 27, 2023  
REGULAR MEETING  
6:00 PM  
AGENDA**

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### **PUBLIC ACCESS AND PARTICIPATION**

To view the meeting or provide comment, please see the options below.

#### **To Watch or Listen to the Meeting:**

1. Watch live feed <https://www.youtube.com/channel/UCAoRW34swYI85UBfYqT7IbQ/>
2. Zoom <https://zoom.us/j/99508232402?pwd=aThZc1BsUG9sWnhNYnlwZHZZdFFrQT09>  
Meeting ID: 995 0823 2402 Passcode: 17351735
3. Listen via telephone: 1-669-900-9128  
Meeting ID: 995 0823 2402 Passcode: 17351735

#### **To Provide Comments:**

1. Email before the meeting by 2:00 PM your comments to [publiccomment@cityoforoville.org](mailto:publiccomment@cityoforoville.org)
2. Attend in person

**If you would like to address the Commission at this meeting, you are requested to complete the blue speaker request form (located on the wall by the agendas) and hand it to the City Clerk, who is seated on the right of the Council Chamber. The form assists the Clerk with minute taking and assists the Mayor or presiding chair in conducting an orderly meeting. Providing personal information on the form is voluntary. For scheduled agenda items, please submit the form prior to the conclusion of the staff presentation for that item. The Commission has established time limitations of three (3) minutes per speaker on all items and an overall time limit of thirty minutes for non-agenda items. If more than 10 speaker cards are submitted for non-agenda items, the time limitation would be reduced to one and a half minutes per speaker. **(California Government Code §54954.3(b)).** Pursuant to Government Code Section 54954.2, the Commission is prohibited from taking action except for a brief response from the Council or staff to statements or questions relating to a non-agenda item.**

### **CALL TO ORDER / ROLL CALL**

Commissioners: Glenn Arace, Marissa Hallen, Natalie Sheard, Warren Jensen, Vice Chairperson  
Wyatt Jenkins, Chairperson Carl Durling

### **OPEN SESSION**

Pledge of Allegiance

### **PUBLIC COMMUNICATION - HEARING OF NON-AGENDA ITEMS**

This is the time to address the Commission about any item not listed on the agenda. If you wish to address the Commission on an item listed on the agenda, please follow the directions listed above.

## **PUBLIC HEARINGS**

The Public Hearing Procedure is as follows:

- Mayor or Chairperson opens the public hearing.
- Staff presents and answers questions from Council
- The hearing is opened for public comment limited to two (2) minutes per speaker. In the event of more than ten (10) speakers, time will be limited to one and a half (1.5) minutes. Under Government Code 54954.3, the time for each presentation may be limited.
- Public comment session is closed
- Commission debate and action

### **2. RE: MINOR USE PERMIT UP23-06 FOR A WIRELESS CELL TOWER REPLACEMENT AT 60 EAST GRAND AVENUE**

**SUMMARY** The Planning Commission will consider approving Minor Use Permit UP23-06 to replace an existing 100-foot ‘flagpole’ cell tower with a 95-foot ‘Monopalm’ stealth tower at 60 E Grand Avenue.

#### **RECOMMENDATION:**

Conduct a Public Hearing on the proposed project and

1. Adopt the Notice of Exemption as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);
2. Approve Use Permit UP23-06 for the replacement cell tower, subject to the conditions in the attached draft approval letter.
3. Adopt Resolution P2023-08 with the recommended findings therein.

## **REPORTS / DISCUSSIONS / CORRESPONDENCE**

1. Commissioner Reports
2. Historical Advisory Commission Reports
3. Staff Reports

## ADJOURN THE MEETING

The meeting will be adjourned. A regular meeting of the Oroville Planning Commission will be held on May 25, 2023 at 6:00 PM.

*Accommodating Those Individuals with Special Needs* – In compliance with the Americans with Disabilities Act, the City of Oroville encourages those with disabilities to participate fully in the public meeting process. If you have a special need in order to allow you to attend or participate in our public meetings, please contact the City Clerk at (530) 538-2535, well in advance of the regular meeting you wish to attend, so that we may make every reasonable effort to accommodate you. Documents distributed for public session items, less than 72 hours prior to meeting, are available for public inspection at City Hall, 1735 Montgomery Street, Oroville, California.

*Recordings* - All meetings are recorded and broadcast live on [cityoforoville.org](http://cityoforoville.org) and YouTube.

*Planning Commission Decisions* - Any person who is dissatisfied with the decisions of this Planning Commission may appeal to the City Council by filing with the Zoning Administrator within fifteen days from the date of the action. A written notice of appeal specifying the grounds and an appeal fee immediately payable to the City of Oroville must be submitted at the time of filing. The Oroville City Council may sustain, modify or overrule this decision.



# City of Oroville

## COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street  
 Oroville, CA 95965-4897  
 (530) 538-2436 FAX (530) 538-2426  
[www.cityoforoville.org](http://www.cityoforoville.org)

### PLANNING COMMISSION STAFF REPORT

Thursday, April 27, 2023

**RE: MINOR USE PERMIT UP23-06 FOR A WIRELESS CELL TOWER REPLACEMENT AT 60 EAST GRAND AVENUE**

**SUMMARY** The Planning Commission will consider approving Minor Use Permit UP23-06 to replace an existing 100-foot ‘flagpole’ cell tower with a 95-foot ‘Monopalm’ stealth tower at 60 E Grand Avenue.

**RECOMMENDATION: Staff recommends the following actions:**

1. **Conduct a Public Hearing on the proposed project.**
2. **Adopt the Notice of Exemption as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);**
3. **Approve Use Permit UP23-06 for the replacement cell tower, subject to the conditions in the attached draft approval letter.**
4. **Adopt Resolution P2023-08 with the recommended findings therein.**

**APPLICANTS:** Nicole Comach on behalf of Horvath Towers, LLC

**LOCATION:** 60 East Grand Avenue  
 Oroville, CA 95965

**GENERAL PLAN:** RBS (Retail and Business Services)

**ZONING:** C-1 (Limited Commercial)

**FLOOD ZONE:** X

**ENVIRONMENTAL DETERMINATION:** Exempt from CEQA as a Replacement or Reconstruction structure per Title 14, CCR, §15302.

**REPORT PREPARED BY:**

\_\_\_\_\_  
 Wes Ervin, Principal Planner  
 Community Development Department

**REVIEWED BY:**

\_\_\_\_\_  
 Dawn Nevers, Assistant Director  
 Community Development Director

## DISCUSSION

The project applicant, Horvath Towers, LLC, has applied for Use Permit No. 23-06 to replace the existing 100' wireless telecommunications facility located at 60 E Grand Avenue (APN: 031-340-067) with a new 95' tower, new antenna array and associated ground equipment.

The project involves no expansion of any exterior equipment cabinets or shelters, a slight decrease in the height or area of the existing tower, and no increase in the lease area of the wireless telecommunications facility. It does involve a wider palm tree camouflage stealth installation at the top of the tower.

The subject property has a zoning designation of Limited Commercial (C1) and a General Plan land use designation of Retail Business Services. Per Oroville Municipal Code Section 17.16.170, the replacement tower is subject to a Use permit.

The proposed modifications include:

- Replace an unmanned 100' monopole with a new 95.0' 'Monopalm' tower.
- Replace the existing internal antennas with a new exterior antenna mount.
- Mount 12 new antennas, 3 each of four different types, at 90 feet above ground level.
- Removal of the existing power cabinet and replace with a new power cabinet and 19" rack.
- New electrical will be required.
- Security access will be controlled, and an approved fire/police padlock will be installed.

The applicant is replacing a tower approved and constructed in 2006, in part due to consistent overheating of the equipment that is mounted and camouflaged inside the Fiberglas tower, and in part to update and upgrade the facility.

The 'Monopalm' stealth style complies with the city's requirement to camouflage the equipment, and since palm trees are the dominant foliage around the tower both along Table Mountain Blvd and La Palma Drive, staff suggested this style.

The applicant will need to erect a "Cell on Wheels" (COW) temporary cell tower to maintain uninterrupted cell coverage during construction. The placement and height will be reviewed by the Building Official prior to installation. If off site, the COW will need a Temporary Use Permit.

If approved, the permit will have a term of 10 years in accordance with OMC 17.16.170(l)(1). It can be extended through the permitting process.

**FISCAL IMPACT**

None. The application fees will cover all staff review costs.

**PUBLIC NOTICE**

A notice of the Public Hearing was mailed to all property owners within 300 feet of the parcel and published in the Oroville Mercury Register on April 15, 2023.

**ATTACHMENTS**

1. Application form and drawings
2. Draft use permit with proposed conditions
3. Resolution P2023-08 with proposed findings
4. Notice of Exemption



# City of Oroville

Planning Division - Community Development Department

1735 Montgomery Street  
 Oroville, CA 95965-4897  
 (530) 538-2430 FAX (530) 538-2426 [www.cityoforoville.org](http://www.cityoforoville.org)

TRAKIT#: PL2303-003

## USE PERMIT APPLICATION

(Please print clearly and fill in/provide all that apply)

REQUIRED FOR A COMPLETE APPLICATION		PERMIT TYPE	
<input checked="" type="checkbox"/>	Completed and signed Application Forms	<input checked="" type="checkbox"/>	New Use Permit: \$2,889.98 (Deposit) + \$173.40(6% Tech Fee) = \$3,063.38
<input checked="" type="checkbox"/>	Application Fee Paid	<input type="checkbox"/>	Amendment to Existing Use Permit: \$1,024.09 + \$61.45 (6% Tech Fee) = \$1,085.54

### PROJECT PLANS

All plans and drawings shall be drawn to scale to the extent feasible and shall indicate the full dimensions, contours and other topographic features and all information necessary to make a full evaluation of the project. Please include the following:

<input checked="" type="checkbox"/>	1. <b>Site and floor plans</b> , including the location, square footage and use of all structures.
<input checked="" type="checkbox"/>	2. <b>Architectural drawings</b> showing proposed building elevations.
<input checked="" type="checkbox"/>	3. Landscape plans showing the types, sizes and location of vegetation to be planted and the irrigation system to be installed
<input checked="" type="checkbox"/>	4. Plans for the configuration & layout of all off-street parking spaces, including entrances, exits and internal circulation routes.
<input checked="" type="checkbox"/>	5. Plans for all lighting to be installed on the site, including the location, type, height and brightness of each lighting fixture.
<input checked="" type="checkbox"/>	6. <b>Drawings of all signs</b> that are proposed in association with the project.
<input checked="" type="checkbox"/>	7. Plans showing the location, sq footage and capacity of any existing or proposed surface storm-water detention facilities.
<input checked="" type="checkbox"/>	8. Plans showing the location and square footage of any existing or proposed outdoor storage areas.
<input checked="" type="checkbox"/>	9. Descriptions of any off-site infrastructure improvements to be provided in conjunction with the project.
<input checked="" type="checkbox"/>	10. Hours of operation for all proposed land uses.
<input checked="" type="checkbox"/>	11. Number of employees and fleet vehicles for all proposed land uses
<input checked="" type="checkbox"/>	12. <b>A letter authorizing the use permit application from the owner of the property.</b>

### CLASSIFICATION

Alcohol & Beverage Sales	Nonconforming Uses & Structures	Uses in Industrial Districts
Agricultural Uses	Outdoor Storage	Uses Mini-Storage Overlay(MS-O)
Animal Keeping (Commercial)	Parking Requirement Exceptions	Uses in Residential Districts
Barbed/Razor Wire Fence	Temporary Use	Uses in Special Purpose Districts
Density Bonus & Other Incentives	Uses in a Conditional Overlay (C-O)	Uses not Specified but Allowed
Exceptions to Height Limits	Uses in Commercial & Mixed-Use Districts	X Wireless Communication Facilities
Other: (Please Specify)		

### APPLICANT'S SIGNATURE

I hereby certify that the information provided in this application is, to my knowledge, true and correct.

Signature: Nicole Comach	Digitally signed by Nicole Comach Date: 2023.02.06 10:23:40 -08'00'	Date:
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### OFFICE USE ONLY

Approved By:	Date:
Payment:	Number:

PROJECT DESCRIPTION	
Present or Previous Use:	Wireless Telecommunications Facility
Proposed Use:	Wireless Telecommunications Facility (tower replacement)
Detailed Description: THE PROPOSED SCOPE OF WORK IS AS FOLLOWS:  1. THERE IS (1) UNMANNED TELECOMMUNICATIONS SITES AT THIS LOCATION: SBA LEASE AREA WITH (1) 100' MONOPOLE TO BE REPLACED WITH A NEW 95.0' MONOPALM TOWER. ALL EXISTING ANTENNAS TO BE REMOVED. NEW ANTENNA MOUNT ADDED FOR NEW ANTENNAS.  1.1. NEW MONOPALM TO BE CONSTRUCTED FIRST. ALL EXISTING ANTENNAS FROM EXISTING MONOPOLE TO REMOVED. ONCE ALL ANTENNAS HAVE BEEN REMOVED, THE EXISTING 100' MONOPOLE WILL BE DISMANTLED AND REMOVED FROM SITE. TIME FOR CONSTRUCTION AND TESTING WILL BE APPROXIMATELY 4-6 WEEKS.  1.2. (3) NEW FFVV-65C-R3-V1 AND (3) NEW AIR6419 B41 PANEL ANTENNAS IN ADDITION TO (3) 4460 B25+B66 RRU & (3) 4480 B71+B85 RRU WILL BE MOUNTED TO THE NEW 95.0' MONOPALM TOWER @ 90.0'.  2. THERE WILL BE NO MORE THAN ONE TRIP PER MONTH TO THE SITE FOR CASUAL MAINTENANCE.  3. REMOVE EXISTING RBS 6201, RBS 6101, (6) RUS01 B2, AND (6) RUS01B4. (1) NEW 6230 POWER CABINET AND (1) NEW 19" RACK WILL BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING GROUND EQUIPMENT CABINETS ARE SECURED TO PREVENT UNAUTHORIZED ACCESS.  4. NO NEW NOISE GENERATING EQUIPMENT WILL BE ADDED TO THIS PROJECT.  5. LIGHTING IS NOT BEING PROPOSED WITH THIS PROJECT.  6. NEW ELECTRICAL WILL BE REQUIRED FOR THIS PROJECT.  7. PROVIDE APPROVED FIRE/POLICE PADLOCK TO BE INSTALLED ON GATED FOR EMERGENCY VEHICLE ACCESS.	

The Community Development Department operates on a full cost recovery for processing of permits. Staff will charge their time and any expenses associated with processing the application against the initial deposit. Fees that have been captured for the reimbursement of City expenses are non-refundable.

Technology cost recovery fees are non-refundable





# City of Oroville

Planning Division - Community Development Department

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 Oroville, CA 95965-4897  
 (530) 538-2430 FAX (530) 538-2426  
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TRAKIT#:

## PLANNING DIVISION GENERAL APPLICATION

(Please print clearly and fill in all that apply)

<b>APPLICANT'S INFORMATION</b>				Project's:	N/A
Name:	Horvath Towers, LLC (SBA)		Name:	Nicole Comach (Main Contact/Agent)	
Address:	8051 Congress Ave, Boca Raton, FL 33487		Company:	Virtual Site Walk, LLC	
Phone:	561-226-9428		Address:	7910 SE 60th Ave., Portland, OR 97206	
Email:	MWilliams@sbsite.com		Phone:	541-228-4823	
Is the applicant the Owner?	<input type="checkbox"/>	If applicant is Not the owner, please provide owner /agent authorization on the reverse side.		Email:	nicole@virtualsitewalk.com
<b>DEVELOPMENT PROJECTS &amp; OTHER APPLICATIONS</b> (Please check all that apply)					
<input type="checkbox"/>	Annexation	<input type="checkbox"/>	Landmark /Modification/Demolition	<input type="checkbox"/>	Tentative Parcel Map
<input type="checkbox"/>	Appeal	<input type="checkbox"/>	Mining and Reclamation Plan	<input type="checkbox"/>	Tentative Subdivision Map
<input type="checkbox"/>	Development Review	<input type="checkbox"/>	Pre-Application	<input type="checkbox"/>	Use Permit
<input type="checkbox"/>	Final Map	<input type="checkbox"/>	Residential Density Bonus	<input type="checkbox"/>	Variance
<input type="checkbox"/>	General Plan Amendment/Rezone	<input type="checkbox"/>	Temporary Use	<input checked="" type="checkbox"/>	Wireless Communication Facilities
<input type="checkbox"/>	Landmark Designation	<input type="checkbox"/>	Tentative Map Extension	<input type="checkbox"/>	Zoning Clearance
<input type="checkbox"/>	Other: (Please Specify)				
<b>ADMINISTRATIVE PERMITS</b> (Please check all that apply)					
<input type="checkbox"/>	Adult Oriented Business	<input type="checkbox"/>	Outdoor Storage	<input type="checkbox"/>	Special Event
<input type="checkbox"/>	Home Occupation	<input type="checkbox"/>	Outdoor Display & Sales	<input type="checkbox"/>	Street Closure
<input type="checkbox"/>	Large Family Day Care	<input type="checkbox"/>	Second Dwelling Unit	<input type="checkbox"/>	Tree Removal
<input type="checkbox"/>	Mobile Food Vendor	<input type="checkbox"/>	Sign/Temporary Sign Permit	<input type="checkbox"/>	
<input type="checkbox"/>	Other: (Please Specify)				
*Please provide a letter addressed to the Planning Division with a detailed description for the proposed project. Please include any site plans, maps, aerials, photos, and other relevant information that will help us in processing your application. ** Any time a set of plans is required, three (3) sets of drawings shall be submitted, unless otherwise directed.					
<b>PROJECT INFORMATION</b>					
Project Name: North Orville/CA12916			Proposed Structure(s) (Sq Ft.): 95' Monopalm (w/ tops of palms @ 100')		
Address: 60 East Grand Avenue, Oroville, CA 95926			Existing Structure(s) (Sq Ft.): 100' Stealth Pole		
Nearest Cross Street:			Water Provider:		
Assessor Parcel Number: 031-340-067			School District: N/A		
Lot Size (Acres): 2.64 (lease area is < 1 acre)			Number of Dwelling Units: N/A		
<b>APPLICANT'S SIGNATURE</b>					
I hereby certify that the information provided in this application is, to my knowledge, true and correct.					
Signature:				Date:	
<b>OFFICE USE ONLY</b>					
General Plan:		Zoning:		Zoning Conformity:	
File#		Overlay Zoning:		Minimum Setbacks:	
				FY	
				RY	
				SY	

AGENT AUTHORIZATION			
To the City of Oroville, Department of Community Development			
NAME OF AGENT:	Nicole Comach	PHONE NUMBER:	541-228-4823
COMPANY NAME:	Virtual Site Walk, LLC	EMAIL:	nicole@virtualsitewalk.com
ADDRESS:	7910 SE 60th Ave	CITY/ST/ZIP:	Portland, OR 97206
AGENT SIGNATURE: Nicole Comach		Digitally signed by Nicole Comach Date: 2023.02.24 11:06:11 -08'00'	
Is hereby authorized to process this application on my/our property, identified as Butte County Assessor Parcel Number (s):			
031-340-067			
This authorization allows representation for all applications, hearings, appeals, etc. and to sign all documents necessary for said processing, but not including document (s) relating to record title interest.			

**Owner(s) of Record (sign and print name)**

1)	Kosich properties LLC		
	Print Name of Owner	Signature of Owner	Date
2)			
	Print Name of Owner	Signature of Owner	Date
3)			
	Print Name of Owner	Signature of Owner	Date
4)			
	Print Name of Owner	Signature of Owner	Date
	Owner's Mailing Address	Owner's Email	Owner's Phone #

The Community Development Department operates on a full cost recovery for processing of permits. Staff will charge their time and any expenses associated with processing the application against the initial deposit. Fees that have been captured for the reimbursement of City expenses are non-refundable.

Technology cost recovery fees are non-refundable

NOTE:  
"IN THE EVENT OF SITE ABANDONMENT, THE CITY SHALL FOLLOW THE PROCEDURES OF FMC SECTION 15-5016 - REVOCATION OF PERMITS"



SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



01/19/2023

VSE Project Number: U2350-821-231

SITE NAME  
NORTH OROVILLE

SITE I.D.  
CA12916-A-01

E911 ADDRESS  
60 EAST GRAND AVE  
OROVILLE, CA 95965

PROJECT TYPE  
95.0' MONOPALM REPLACEMENT

PROJECT DESCRIPTION

THE PROPOSED SCOPE OF WORK IS AS FOLLOWS:

- THERE IS (1) UNMANNED TELECOMMUNICATIONS SITES AT THIS LOCATION:  
  
SBA LEASE AREA WITH (1) 100.0' MONOPOLE TO BE REPLACED WITH A NEW 95.0' MONOPALM TOWER. ALL EXISTING ANTENNAS TO BE REMOVED. NEW ANTENNA MOUNT ADDED FOR NEW ANTENNAS.
- NEW MONOPALM TO BE CONSTRUCTED FIRST. ALL EXISTING ANTENNAS FROM EXISTING MONOPOLE TO BE REMOVED. ONCE ALL ANTENNAS HAVE BEEN REMOVED, THE EXISTING 100.0' MONOPOLE WILL BE DISMANTLED AND REMOVED FROM SITE. TIME FOR CONSTRUCTION AND TESTING WILL BE APPROXIMATELY 4-6 WEEKS.
- (3) NEW FFVV-65C-R3-V1 AND (3) NEW AIR6419 B41 PANEL ANTENNAS IN ADDITION TO (3) 4460 B25+B66 RRU & (3) 4480 B71+B85 RRU WILL BE MOUNTED TO THE NEW 95.0' MONOPALM TOWER @ 90.0'.
- THERE WILL BE NO MORE THAN ONE TRIP PER MONTH TO THE SITE FOR CASUAL MAINTENANCE.
- REMOVE EXISTING RBS 6201, RBS 6101, (6) RUS01 B2, AND (6) RUS01B4. (1) NEW 6230 POWER CABINET AND (1) NEW 19" RACK WILL BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING GROUND EQUIPMENT CABINETS ARE SECURED TO PREVENT UNAUTHORIZED ACCESS.
- NO NEW NOISE GENERATING EQUIPMENT WILL BE ADDED TO THIS PROJECT.
- LIGHTING IS NOT BEING PROPOSED WITH THIS PROJECT.
- NEW ELECTRICAL WILL BE REQUIRED FOR THIS PROJECT.
- PROVIDE APPROVED FIRE/POLICE PADLOCK TO BE INSTALLED ON GATED FOR EMERGENCY VEHICLE ACCESS.



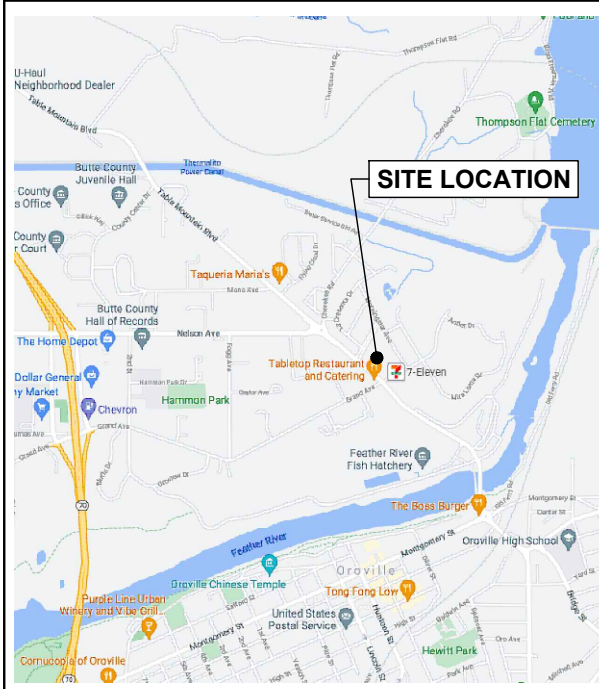
CONSULTING TEAM

ARCHITECTURAL - ENGINEERING FIRM: ENGINEER OF RECORD:  
ACOM CONSULTING, INC WELLS L. HOLMES, S.E.  
5200 SW MEADOWS RD, STE 150 VECTOR STRUCTURAL ENGINEERING  
LAKE OSWEGO, OR 97035 651 W GALENA PARK BLVD, SUITE 101  
CONTACT: RICK MATTESON DRAPER, UT 84020  
PHONE: (425) 209-6723 PHONE: 801.990.1775

SURVEYING FIRM: ELECTRICAL ENGINEER:  
AMBIT CONSULTING DEAN P. LEVORSEN, PE  
410 E. SOUTH AVE. VECTOR STRUCTURAL ENGINEERING  
TEMPE, AZ 85282 651 W GALENA PARK BLVD, SUITE 101  
CONTACT: PAT DONAHOE DRAPER, UT 84020  
PHONE: (480) 659-4072 PHONE: 801.990.1775

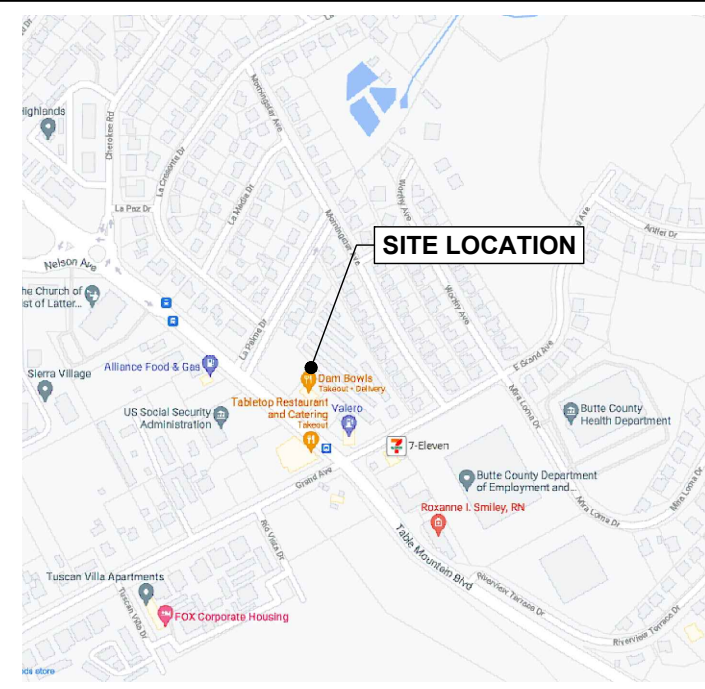
VICINITY MAP

N.T.S.



REGIONAL MAP

N.T.S.



PROJECT INFORMATION

SITE NUMBER: CA12916-A-01  
SITE NAME: NORTH OROVILLE  
SITE ADDRESS: 60 EAST GRAND AVE  
OROVILLE, CA 95965  
COUNTY: BUTTE COUNTY  
LAND OWNER: BRAUN LAND CO., LLC  
1345 LAKE BLVD.  
REDDING, CA 96003  
(530) 941-2965  
APPLICANT: SBA MONARCH TOWERS III, LLC  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487  
CONTACT PERSON: TBD  
LATITUDE: 39° 31' 22.8396" N (FROM 1A)  
LONGITUDE: -121° 33' 21.1068" W (FROM 1A)  
LAT/LONG TYPE: DEGREES MINUTES AND SECONDS  
GROUND ELEVATION: TBD AMSL  
CURRENT ZONING: CI - LIMITED COMMERCIAL  
PARCEL No.: 031-340-067

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	C
LP-1	LOCATION PLAN	C
LP-2	ENLARGED LOCATION PLAN	C
C-1	ENGINEERING SITE PLAN	C
C-2	ANTENNA SCHEDULE	C
C-3	SITE DETAILS AND SPECIFICATIONS	C
C-4	DETAILS AND SPECIFICATIONS	C
C-5	DETAILS AND SPECIFICATIONS	C
C-6	DETAILS AND SPECIFICATIONS	C
ANT-1	EXISTING SITE ELEVATION	C
ANT-2	PROPOSED SITE ELEVATION	C
ANT-3	EXISTING SITE ELEVATION	C
ANT-4	PROPOSED SITE ELEVATION	C
E-1	UTILITY ROUTING PLAN	C
E-2	SITE GROUNDING PLAN	C
E-3	ELECTRICAL AND GROUNDING DETAILS	C
E-4	SINGLE LINE DIAGRAM & PANEL SCHEDULE	C
GN-1	GENERAL NOTES	C
FULL SCALE PRINT IS ON 22"x34" MEDIA		
LS-1 - LS-3	PLAT OF SURVEY	-
SURVEY ATTACHMENTS		

NO.	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	ZP	11/21/22
B	CLIENT COMMENTS	ZP	01/06/23
C	CLIENT COMMENTS	YK	01/18/23
D			

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY: ZP

CHECKED BY: RM

DATE: 01/06/23

PROJECT #: -

SHEET TITLE  
TITLE SHEET

SHEET NUMBER

T-1

11

DRIVING DIRECTIONS

FROM OROVILLE MUNICIPAL AIRPORT:  
HEAD NORTHEAST ON LARKIN RD TOWARD AIRPORT PKWY. TURN RIGHT ONTO ORO DAM BLVD W/OROVILLE DAM BLVD W. TURN LEFT ONTO 18TH ST. TURN RIGHT ONTO GRAND AVE. DESTINATION WILL BE ON THE LEFT.  
ESTIMATED DISTANCE: 2.5 MILES  
ESTIMATED TIME: 9 MINUTES

ACCESSIBILITY REQUIREMENTS

ACCESSIBILITY REQUIREMENTS :  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION  
ACCESSIBILITY ACCESS REQUIREMENTS NOT REQUIRED

PLUMBING REQUIREMENTS :  
FACILITY HAS NO PLUMBING

UTILITY CONTACT INFORMATION

POWER COMPANY: FIBER COMPANY: T.B.D.  
REU ELECTRIC  
PHONE: (530) 339-7300

NOTE: UTILITY COORDINATION IS NOT REQUIRED AS NO NEW POWER / FIBER / TELCO WILL BE ADDED TO THIS PROJECT

CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING

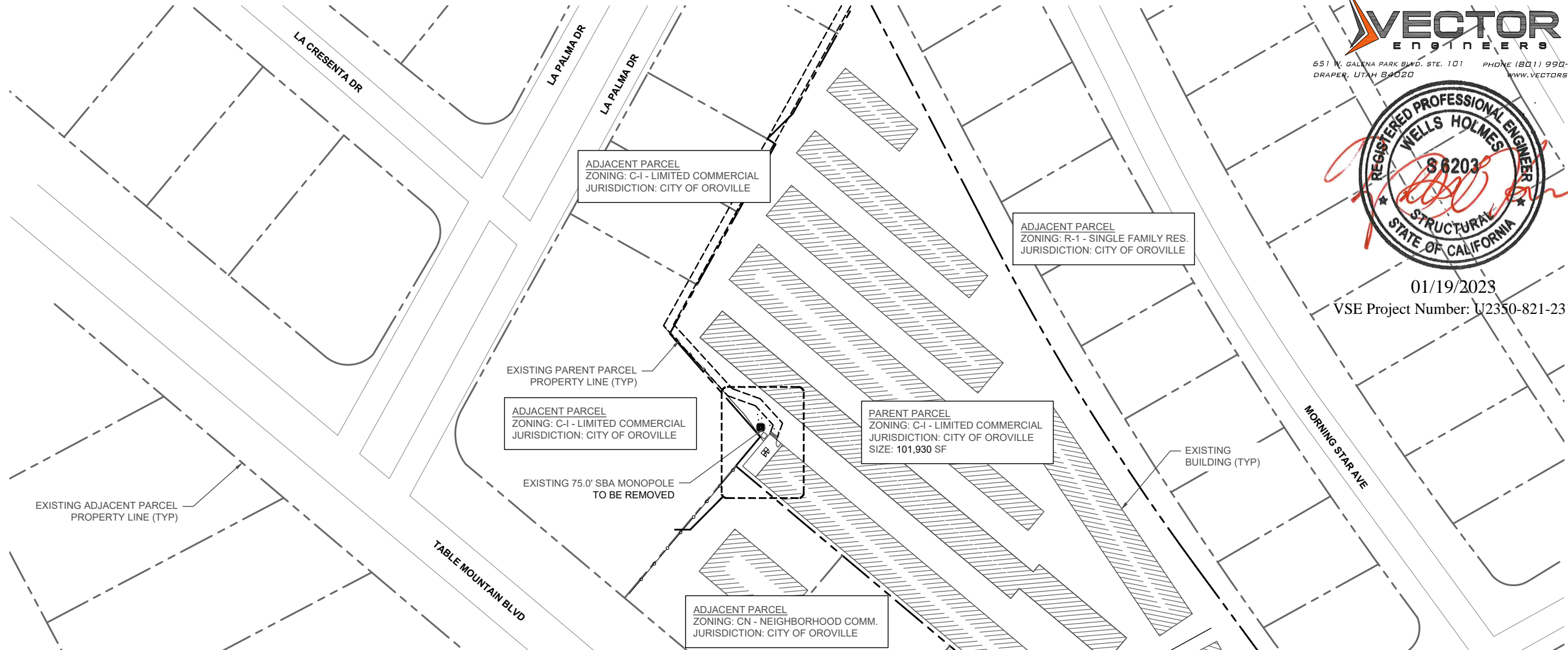
811

48 HOURS BEFORE YOU DIG

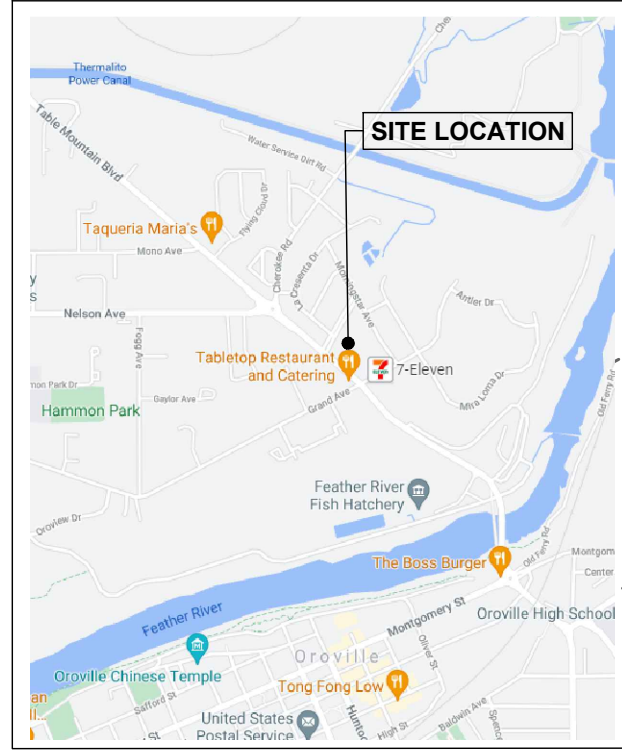




01/19/2023  
 VSE Project Number: U2350-821-231



**VICINITY MAP** N.T.S.



**SCOPE OF WORK**

- THE PROPOSED SCOPE OF WORK IS AS FOLLOWS:
- THERE IS (1) UNMANNED TELECOMMUNICATIONS SITES AT THIS LOCATION:  
 SBA LEASE AREA WITH (1) 75.0' MONOPOLE TO BE REPLACED WITH A NEW 95.0' MONOPALM TOWER. ALL EXISTING ANTENNAS TO BE REMOVED. NEW ANTENNA MOUNT ADDED FOR NEW ANTENNAS.
    - NEW MONOPALM TO BE CONSTRUCTED FIRST. ALL EXISTING ANTENNAS FROM EXISTING MONOPOLE TO BE REMOVED. ONCE ALL ANTENNAS HAVE BEEN REMOVED, THE EXISTING 75.0' MONOPOLE WILL BE DISMANTLED AND REMOVED FROM SITE. TIME FOR CONSTRUCTION AND TESTING WILL BE APPROXIMATELY 4-6 WEEKS.
    - (3) NEW FFVV-65C-R3-V1 AND (3) NEW AIR6419 B41 PANEL ANTENNAS IN ADDITION TO (3) 4460 B25+B66 RRU & (3) 4480 B71+B85 RRU WILL BE MOUNTED TO THE NEW 95.0' MONOPALM TOWER @ 90.0'.
  - THERE WILL BE NO MORE THAN ONE TRIP PER MONTH TO THE SITE FOR CASUAL MAINTENANCE.
  - REMOVE EXISTING RBS 6201, RBS 6101, (6) RUS01 B2, AND (6) RUS01B4. (1) NEW 6230 POWER CABINET AND (1) NEW 19" RACK WILL BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING GROUND EQUIPMENT CABINETS ARE SECURED TO PREVENT UNAUTHORIZED ACCESS.
  - NO NEW NOISE GENERATING EQUIPMENT WILL BE ADDED TO THIS PROJECT.
  - LIGHTING IS NOT BEING PROPOSED WITH THIS PROJECT.
  - NEW ELECTRICAL WILL BE REQUIRED FOR THIS PROJECT.
  - PROVIDE APPROVED FIRE/POLICE PADLOCK TO BE INSTALLED ON GATED FOR EMERGENCY VEHICLE ACCESS.

ADJACENT PARCEL  
 ZONING: MXN - NEIGHBORHOOD MIXED USE  
 JURISDICTION: CITY OF OROVILLE

EXISTING INGRESS / EGRESS  
 ACROSS ASPHALT PARKING  
 LOT FROM E GRAND AVE



22"x34" SCALE: 1" = 40'-0"  
 40' 20' 0' 40'

22" x 34" PRINT IS THE FULL SCALE  
 FORMAT. ANY SIZE OTHER THAN  
 THAT IS AT REDUCED SCALE.

REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	1	11/21/22	ZP	
B	CLIENT COMMENTS	2	01/06/23	ZP	
C	CLIENT COMMENTS	3	01/18/23	YK	
D		4			
		5			
		6			
		7			
		8			

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
 OROVILLE, CA 95965

DRAWN BY: ZP  
 CHECKED BY: RM  
 DATE: 01/06/23  
 PROJECT #:

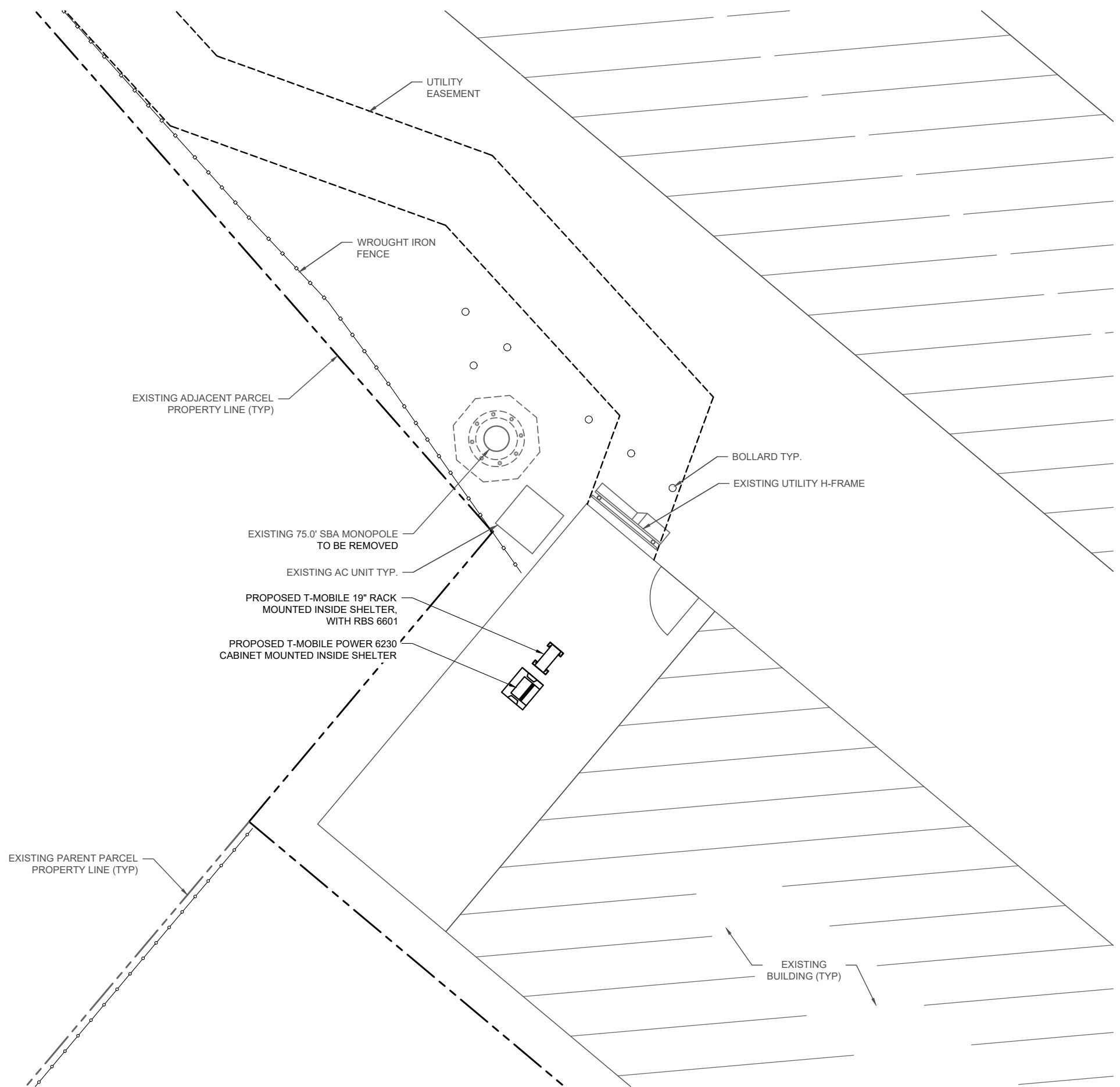
SHEET TITLE  
 SURVEY PLAN

SHEET NUMBER

**LP-1**



- NOTE:
1. IN THE EVENT OF SITE ABANDONMENT, THE CITY SHALL FOLLOW THE PROCEDURES OF FMC SECTION 15-5016 – REVOCATION OF PERMITS
  2. ALL MONO-TREE DESIGNS SHALL INCORPORATE APPROPRIATE THREE-DIMENSIONAL BARK CLADDING AND SHALL PROVIDE FOR SCREENING FOLIAGE TO EXTEND BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES. THE DESIGN, NUMBER AND PLACEMENT OF ANY BRANCH-LIKE STRUCTURES AFFIXED TO THE SLIM LINE MONO-PINE SHALL INSURE THE ADEQUATE CAMOUFLAGING OF THE ANTENNAS, RELATED ELECTRICAL CABLES AND EQUIPMENT, AND THE ANTENNA AND EQUIPMENT MOUNTS.
  3. ALL FUTURE ANTENNAS SHALL HAVE NEEDLE SOCKS MATCHING THE COLOR AND TEXTURE OF THE MONO-TREE FOLIAGE. ANTENNAS WHICH CANNOT BE SOCKED FOR HEAT MITIGATION PURPOSES SHALL BE PAINTED TO MATCH THE MONO-TREE
  4. ALL FUTURE RADIOS, RAYCAPS, MICROWAVE ANTENNAS, EXPOSED CABLES, MOUNTING EQUIPMENT, AND OTHER ANCILLARY EQUIPMENT SHALL BE PAINTED TO MATCH THE MONO-TREE.
  5. DUE TO ENVIRONMENTAL FACTORS SUCH AS WIND, RAIN AND SUN, THE OWNER / APPLICANT SHALL MAINTAIN ALL MONO-TREES TO ENSURE THAT THE FAUX FOLIAGE IS LUSH, CONTINUES TO RESEMBLE A TREE, AND FULLY SCREENS ALL ANTENNAS AND OTHER EQUIPMENT.
  6. THE OWNER/APPLICANT SHALL MAINTAIN THE FENCE / WALL AND ENSURE THE FENCE /WALL IS KEPT FREE OF GRAFFITI AND VANDALISM, AND ANY VISIBLE STRUCTURAL DAMAGE.
  7. EXISTING SECURITY CAGE MAY NEED TO BE REVISED PER NEW MONO-TREE FINAL LOCATION.
  8. FAUX VEGETATION IS REQUIRED BY LOCAL JURISDICTION - FAUX SHRUBS AND VINES FOR QUICK, FULL COVERAGE AND WATER CONSERVATION TO BE USED.



**VECTOR ENGINEERS**  
 651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020 PHONE (801) 990-1775 WWW.VECTORSE.COM



01/19/2023  
 VSE Project Number: U2350-821-231



22"x34" SCALE: 1/4" = 1'-0"  
 22' x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

REVISIONS		NO.	DESCRIPTION	DATE	BY
	ISSUED FOR REVIEW	A		11/21/22	ZP
	CLIENT COMMENTS	B		01/06/23	ZP
	CLIENT COMMENTS	C		01/18/23	YK
		D			

CA12916-A-01  
 NORTH OROVILLE  
 60 EAST GRAND AVE  
 OROVILLE, CA 95965

DRAWN BY: ZP  
 CHECKED BY: RM  
 DATE: 01/06/23  
 PROJECT #: -

SHEET TITLE  
 ENLARGED LOCATION PLAN

SHEET NUMBER  
**LP-2**



SBA MONARCH TOWERS III, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483



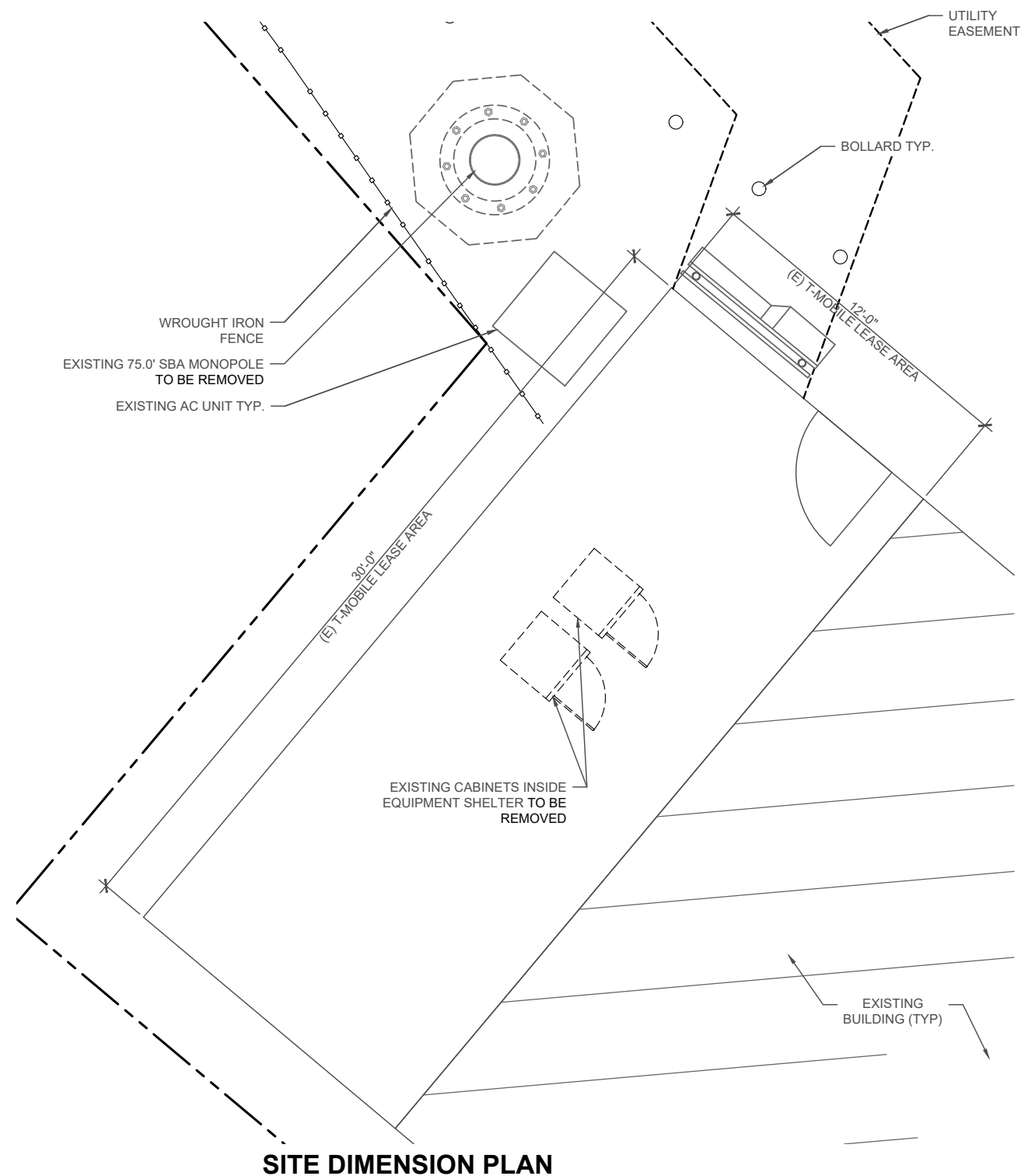
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A	ISSUED FOR REVIEW	11/21/22	ZP
B	CLIENT COMMENTS	01/06/23	ZP
C	CLIENT COMMENTS	01/18/23	YK
D			

CA12916-A-01  
 NORTH OROVILLE  
 60 EAST GRAND AVE  
 OROVILLE, CA 95965

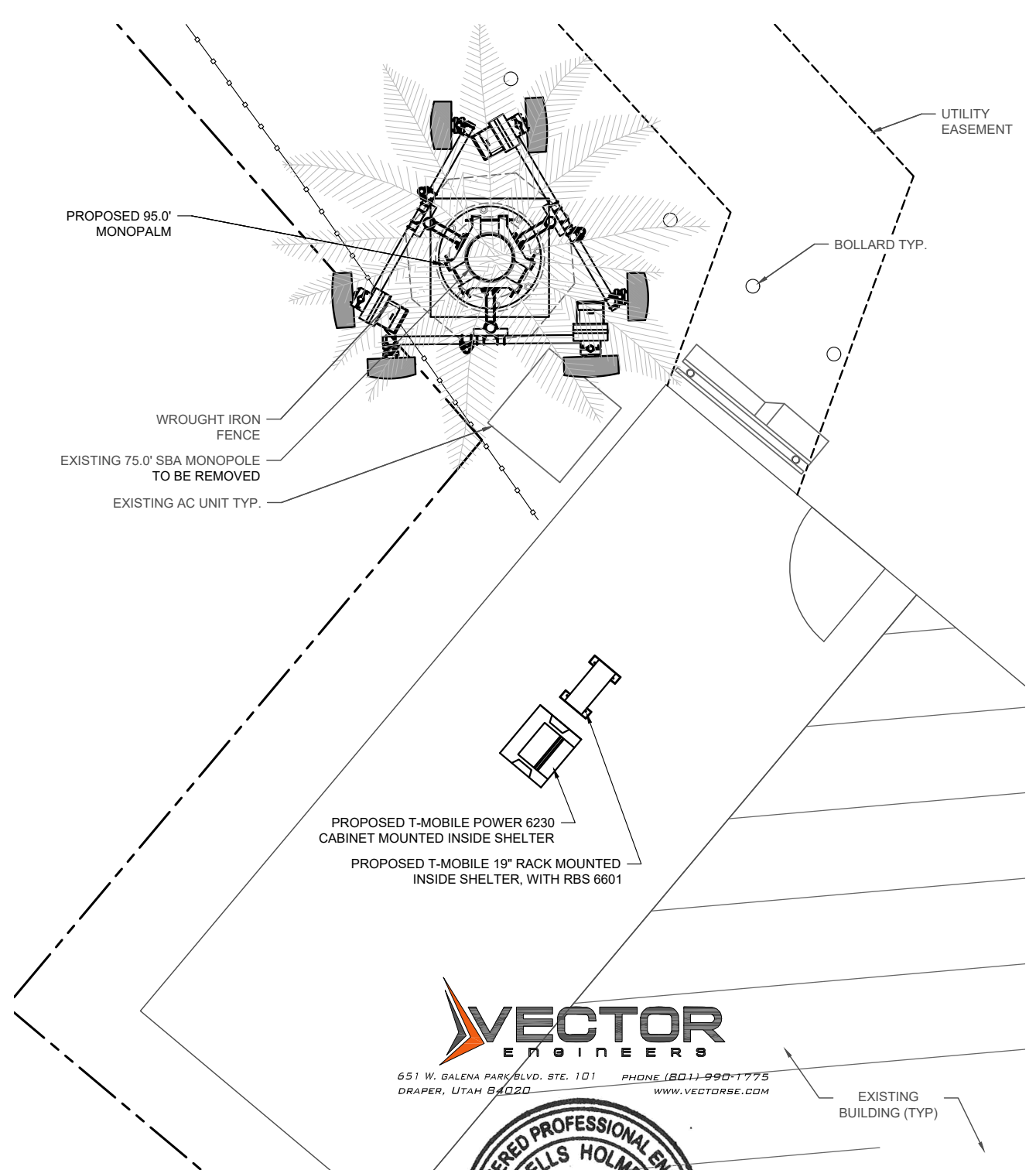
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 CHECKED BY: RM  
 DATE: 01/06/23  
 PROJECT #: -

SHEET TITLE  
**ENGINEERING SITE PLAN**

SHEET NUMBER  
**C-1**



**SITE DIMENSION PLAN**



651 W. GALENA PARK BLVD, STE. 101 DRAPER, UTAH 84020  
 PHONE (801)-990-1775  
 WWW.VECTORSE.COM

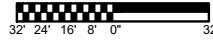


01/19/2023

VSE Project Number: U2350-821-231



22"x34" SCALE: 1/32" = 1'-0"



22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

1 ENGINEERING SITE PLAN

**PAVEMENT MATERIALS AND QUANTITIES**

ACCESS ROAD	(EXISTING - NO WORK NEEDED)
LEASE SITE	(EXISTING - NO WORK NEEDED)

NOTE:  
 TOWER FACE WIDTH IS TO BE VERIFIED WITH TOWER MANUFACTURER DRAWINGS PRIOR TO LAYING OUT FOUNDATION.

NOTE:  
 IN THE EVENT OF SITE ABANDONMENT, THE CITY SHALL FOLLOW THE PROCEDURES OF FMC SECTION 15-5016 – REVOCATION OF PERMITS

NOTE:  
 EXISTING TOWER TO BE REMOVED. BACKFILL HOLE AND FINISHED TO MATCH EXISTING COMPOUND CONTRACTOR SHALL REPLACE ALL EQUIPMENT DAMAGED DURING THE POLE SWAP

NOTE:  
 CONTRACTOR SHALL COORDINATE WITH THE CARRIER REGARDING EXTENDING ALL CABLING TO THE RELOCATED EQUIPMENT ON NEW MONO-PINETOWER

NOTE:  
 THE OWNER/APPLICANT SHALL MAINTAIN THE FENCE/WALL AND ENSURE THE FENCE/WALL IS KEPT FREE OF GRAFFITI AND VANDALISM, AND ANY VISIBLE STRUCTURAL DAMAGE



SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
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VSE Project Number: U2350-821-231

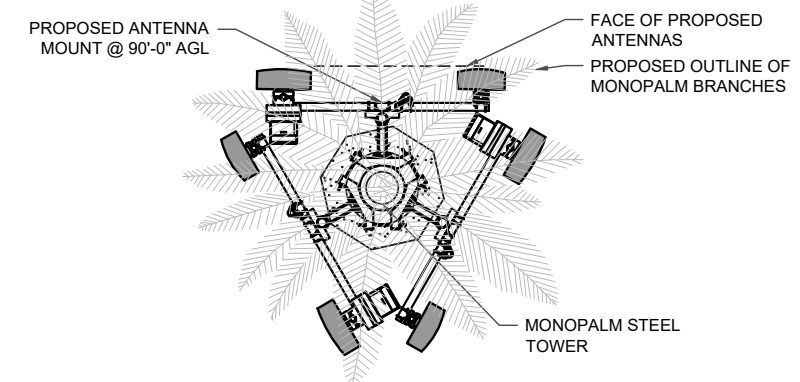
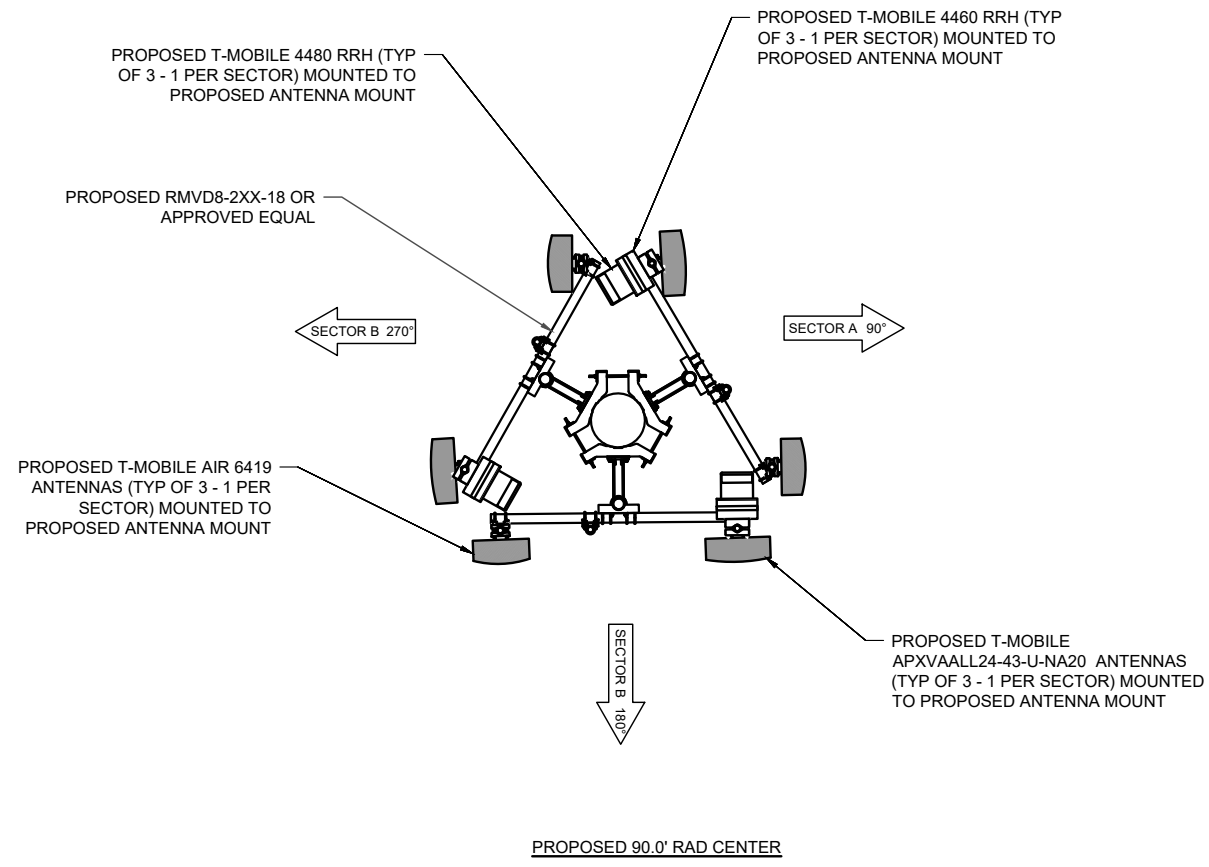


PROPOSED ANTENNA AND ANCILLARY EQUIPMENT SCHEDULE							
ALPHA SECTOR							
ANTENNA MODEL	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) FFVV-65C-R3-V1	90°	90.0'	-	ERICSSON RADIO 4480 ERICSSON RADIO 4460	-	(1) HYBRID	131'
-	-	-	-	-	-	-	-
(1) ERICSSON AIR6419 B41	90°	90.0'	-	-	-	-	-
BETA SECTOR							
ANTENNA MODEL	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) FFVV-65C-R3-V1	180°	90.0'	-	ERICSSON RADIO 4480 ERICSSON RADIO 4460	-	(1) HYBRID	131'
-	-	-	-	-	-	-	-
(1) ERICSSON AIR6419 B41	180°	90.0'	-	-	-	-	-
GAMMA SECTOR							
ANTENNA MODEL	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) FFVV-65C-R3-V1	270°	90.0'	-	ERICSSON RADIO 4480 ERICSSON RADIO 4460	-	-	-
-	-	-	-	-	-	-	-
(1) ERICSSON AIR6419 B41	270°	90.0'	-	-	-	-	-

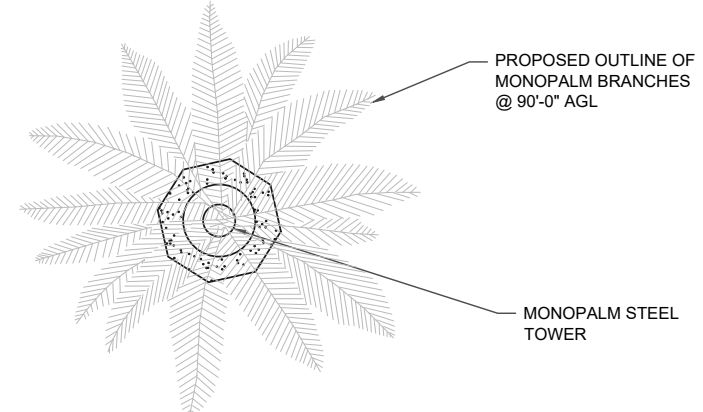
22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

PROPOSED ANTENNA SCHEDULE | 1

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	11/21/22	ZP
B	CLIENT COMMENTS	01/06/23	ZP
C	CLIENT COMMENTS	01/18/23	YK
D			



PROPOSED UPPER RADII PLAN



PROPOSED LOWER RADII PLAN



22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

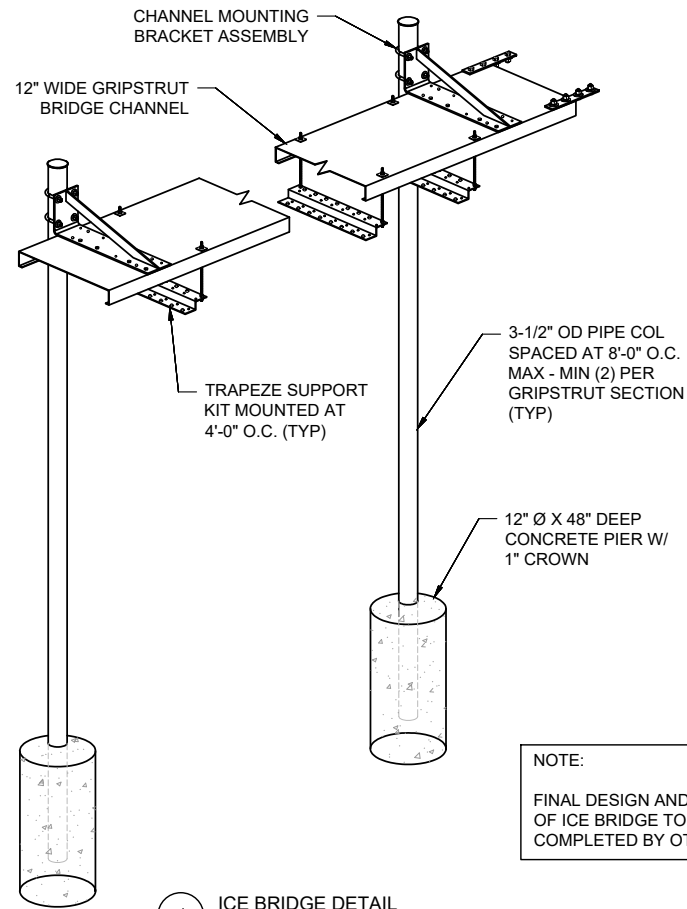
PROPOSED ANTENNA PLAN | 2

CA12916-A-01  
NORTH OROVILLE  
60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY:	ZP
CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
ANTENNA SCHEDULE & PLAN

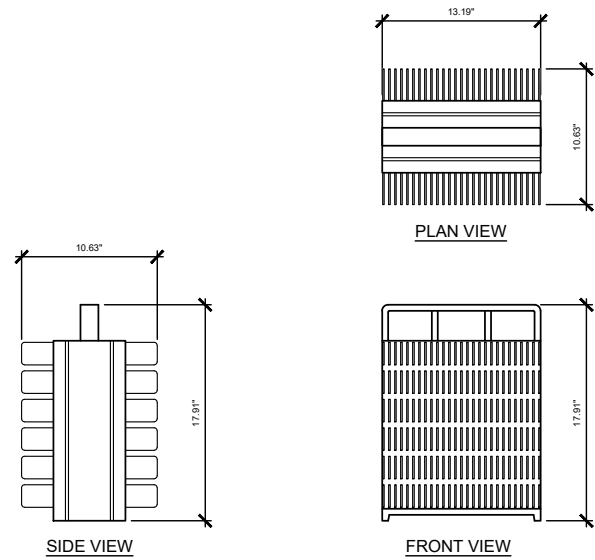
SHEET NUMBER  
**C-2**



1 ICE BRIDGE DETAIL  
N.T.S.

NOTE:  
COMPLY WITH MANUFACTURER'S INSTRUCTIONS TO ENSURE THAT ALL RRH'S RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING. DO NOT OPEN RRH PACKAGES IN THE RAIN.

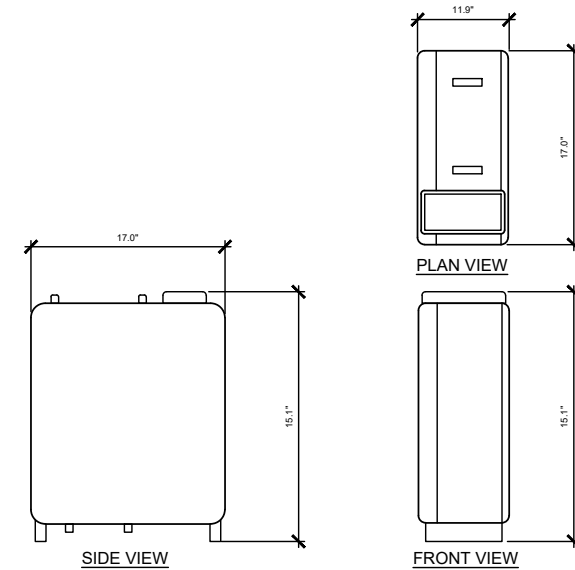
MANUFACTURER: ERICSSON  
MODEL: RADIO 4480  
HEIGHT: 17.91"  
WIDTH: 13.19"  
DEPTH: 10.63"  
WEIGHT: 73.19 LBS  
COLOR: OFF-WHITE



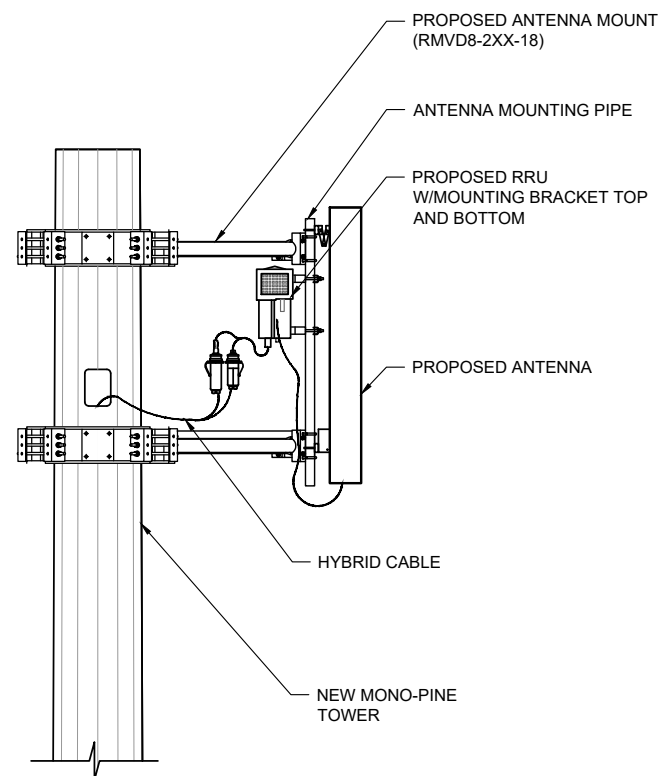
2 4480 RADIO DETAIL  
N.T.S.

NOTE:  
COMPLY WITH MANUFACTURER'S INSTRUCTIONS TO ENSURE THAT ALL RRH'S RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING. DO NOT OPEN RRH PACKAGES IN THE RAIN.

MANUFACTURER: ERICSSON  
MODEL: RADIO 4460  
HEIGHT: 15.1"  
WIDTH: 17.0"  
DEPTH: 11.9"  
WEIGHT: 104.0 LBS  
COLOR: OFF-WHITE



3 4460 RADIO DETAIL  
N.T.S.

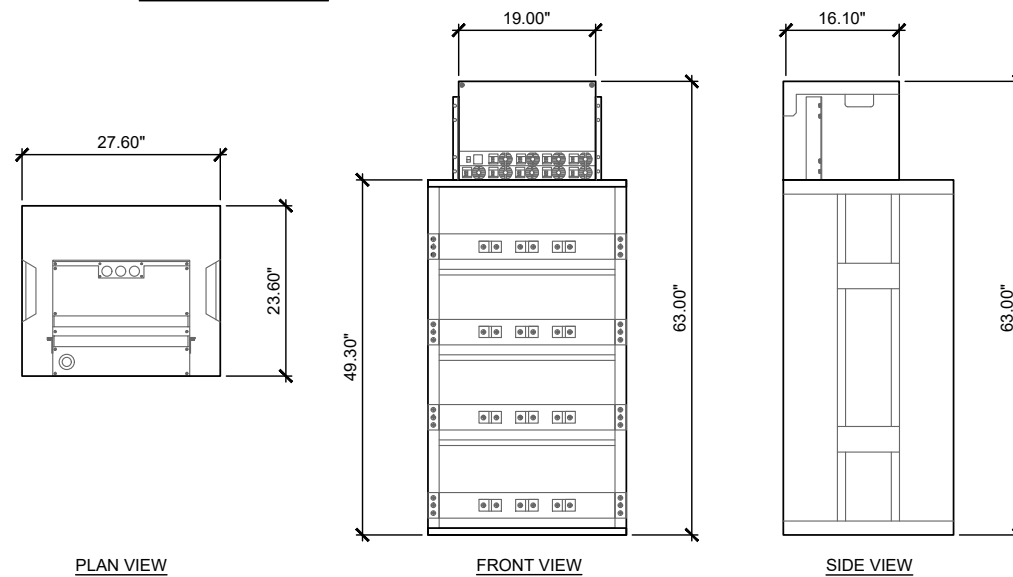


4 ANTENNA MOUNTING KIT DETAIL  
N.T.S.

BATTERY INFORMATION			
BATTERY MODEL	TOTAL # OF BATTERY UNITS	AMP-HOUR RATING PER UNIT	RATED VOLTAGE PER UNIT
NSB 210FT	12	210AH	12V
KWH PER BATTERY		TOTAL KWH	
$\frac{\text{AMP-HOUR RATING} \times \text{RATED VOLTAGE}}{1000}$		$\text{KWH PER BATTERY} \times \text{TOTAL \# OF BATTERIES}$	
$\frac{210\text{AH} \times 12\text{V}}{1000} = 2.52 \text{ KWH}$		$2.52 \text{ KWH} \times 12 = 30.24 \text{ KWH}$	

BATTERY DATA CHART

MANUFACTURER: ERICSSON  
MODEL: 6230  
HEIGHT: 63.00"  
WIDTH: 27.60"  
DEPTH: 23.60"  
WEIGHT: 1,981.00 LBS (FULLY LOADED)  
COLOR: GRAY



**VECTOR ENGINEERS**  
651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTORSE.COM



01/19/2023  
VSE Project Number: U2350-821-231

5 PROPOSED 6230 POWER UNIT  
N.T.S.

Item 2.  
**SBA**  
SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483

**Acom CONSULTING, INC.**

NO.	DESCRIPTION	DATE	BY	REVISIONS
A	ISSUED FOR REVIEW	11/21/22	ZP	
B	CLIENT COMMENTS	01/06/23	ZP	
C	CLIENT COMMENTS	01/18/23	YK	
D				

CA12916-A-01  
NORTH OROVILLE  
60 EAST GRAND AVE  
OROVILLE, CA 95965

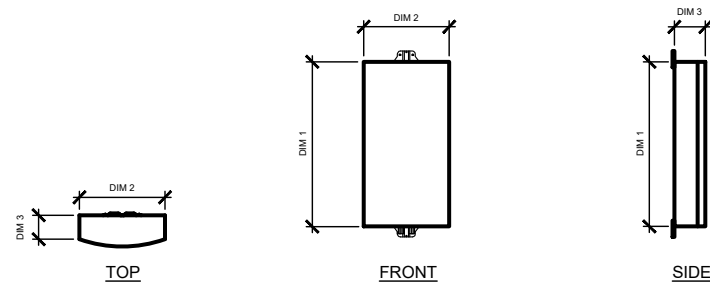
DRAWN BY: ZP  
CHECKED BY: RM  
DATE: 01/06/23  
PROJECT #:

SHEET TITLE  
SITE DETAILS & SPECIFICATIONS

SHEET NUMBER  
**C-3**  
16



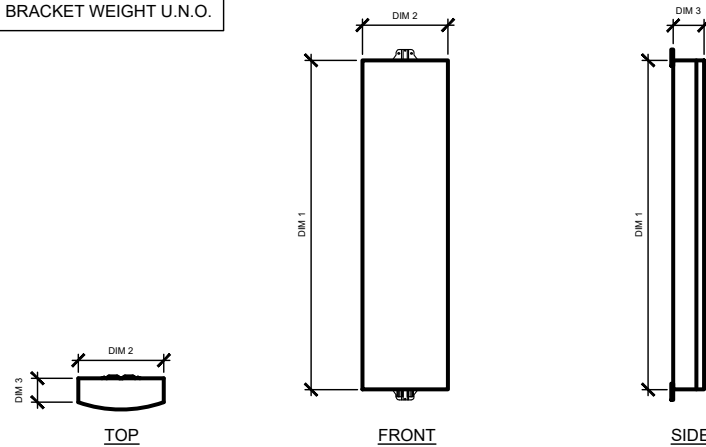
NOTES:  
 1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS.  
 2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS.  
 3. \*ANTENNA WEIGHTS INCLUDE MOUNTING BRACKET WEIGHT U.N.O.



	QTY	DIM 1	DIM 2	DIM 3	*WEIGHT
ALPHA SECTOR					
(P) ERICSSON AIR6419	(1)	36.3"	20.9"	9.0"	83.3 LBS
BETA SECTOR					
(P) ERICSSON AIR6419	(1)	36.3"	20.9"	9.0"	83.3 LBS
GAMMA SECTOR					
(P) ERICSSON AIR6419	(1)	36.3"	20.9"	9.0"	83.3 LBS

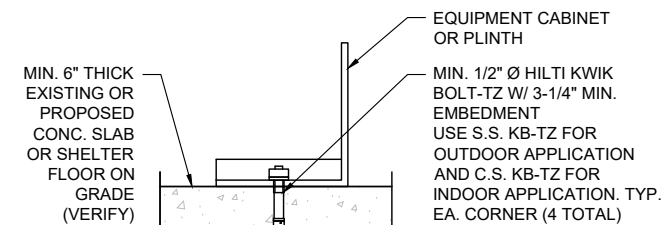
1 ERICSSON AIR6419 B41  
N.T.S.

NOTES:  
 1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS.  
 2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS.  
 3. \*ANTENNA WEIGHTS INCLUDE MOUNTING BRACKET WEIGHT U.N.O.



	QTY	DIM 1	DIM 2	DIM 3	*WEIGHT
ALPHA SECTOR					
(P) RFS APXVAALL24_43-U-NA20	(1)	95.9"	24.0"	8.5"	122.8 LBS
BETA SECTOR					
(P) RFS APXVAALL24_43-U-NA20	(1)	95.9"	24.0"	8.5"	122.8 LBS
GAMMA SECTOR					
(P) RFS APXVAALL24_43-U-NA20	(1)	95.9"	24.0"	8.5"	122.8 LBS

2 RFS APXVAALL24\_43-U-NA20  
N.T.S.



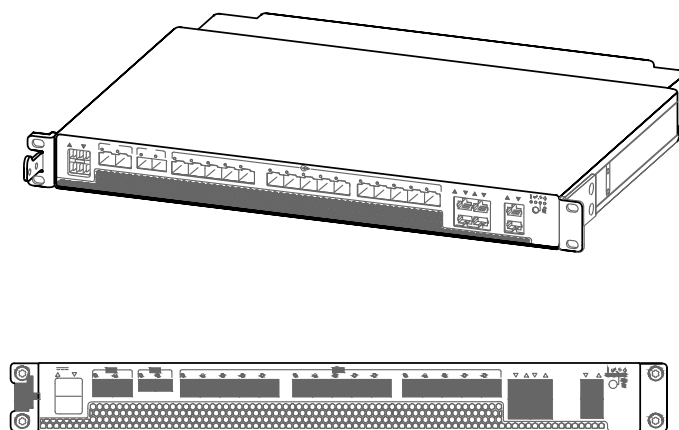
NOTES:  
 1. THE CONTRACTOR SHALL ACCURATELY LOCATE ALL EXISTING REINFORCING BY X-RAY OR EQUIVALENT METHODS. NO REBAR OR TENDONS SHALL BE CUT. ALL EXPENSES RELATED TO REPAIR OR CUT REBAR OR TENDONS SHALL BE ENTIRELY AT THE EXPENSE OF THE CONTRACTOR.  
 2. SPECIAL INSPECTION IS REQUIRED FOR HILTI KWIK BOLT-TZ PER ESR-1917 CONCRETE EXPANSION ANCHORS AGAINST SEISMIC.  
 3. INSTALLATION OF WEDGE ANCHORS IN MASONRY IS NOT ALLOWED.  
 4. VERIFICATION OF CABINET ATTACHMENT/ ANCHORAGE TO BE COMPLETED BY OTHERS.

3 CABINET ANCHOR DETAIL  
N.T.S.



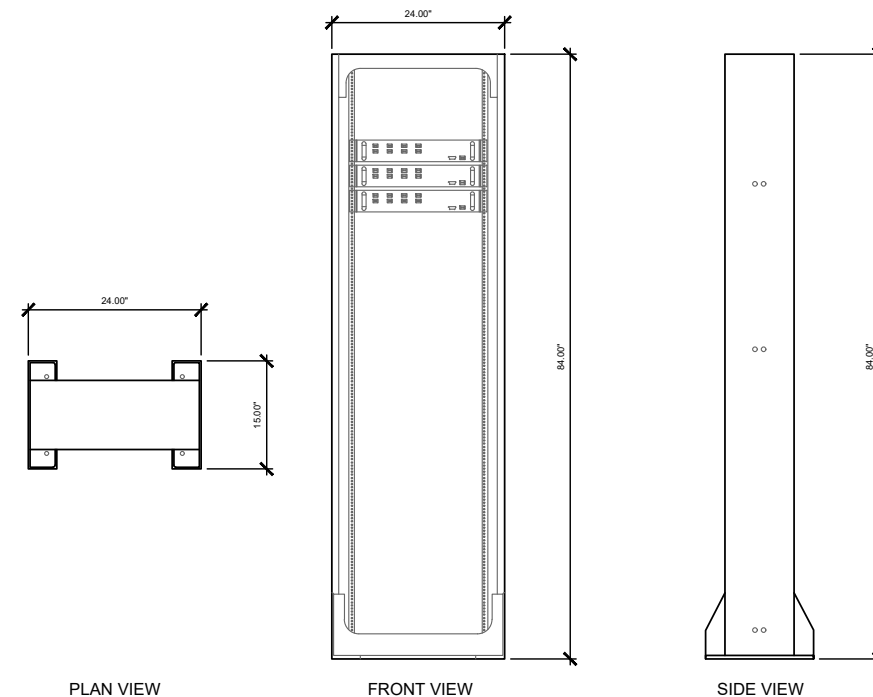
01/19/2023  
 VSE Project Number: U2350-821-231

MANUFACTURER: ERICSSON  
 MODEL: 6601  
 HEIGHT: 1.75"  
 WIDTH: 19.0"  
 DEPTH: 13.80"  
 WEIGHT: 14.33 LBS



4 ERICSSON RBS 6601  
N.T.S.

MANUFACTURER: TBD  
 MODEL: 19" EQUIPMENT RACK  
 HEIGHT: 84.00"  
 WIDTH: 24.00"  
 DEPTH: 15.00"  
 WEIGHT: 1,158.00 LBS (FULLY LOADED)  
 COLOR: GRAY



5 ERICSSON 19" RACK DETAIL  
N.T.S.



Item 2.  
 SBA MONARCH TOWERS III, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483



NO.	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	ZP	11/21/22
B	CLIENT COMMENTS	ZP	01/06/23
C	CLIENT COMMENTS	YK	01/18/23
D			

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
 OROVILLE, CA 95965

DRAWN BY: ZP  
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 DATE: 01/06/23  
 PROJECT #: -

SHEET TITLE  
 SITE DETAILS & SPECIFICATIONS

SHEET NUMBER

C-4



SBA MARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



NO.	DESCRIPTION	BY	DATE	ISSUED FOR REVIEW	CLIENT COMMENTS	CLIENT COMMENTS
A		JP	11/21/22			
B		JP	01/06/23			
C		YK	01/18/23			
D						

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
OROVILLE, CA 95965

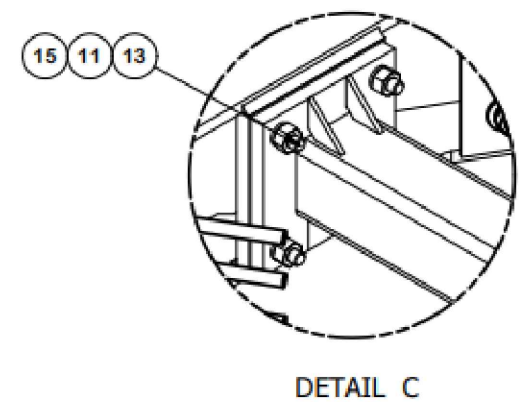
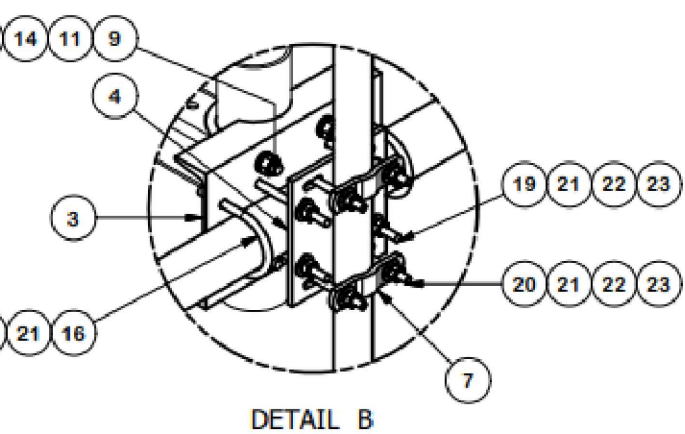
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DATE: 01/06/23  
PROJECT #:

SHEET TITLE  
SITE DETAILS & SPECIFICATIONS

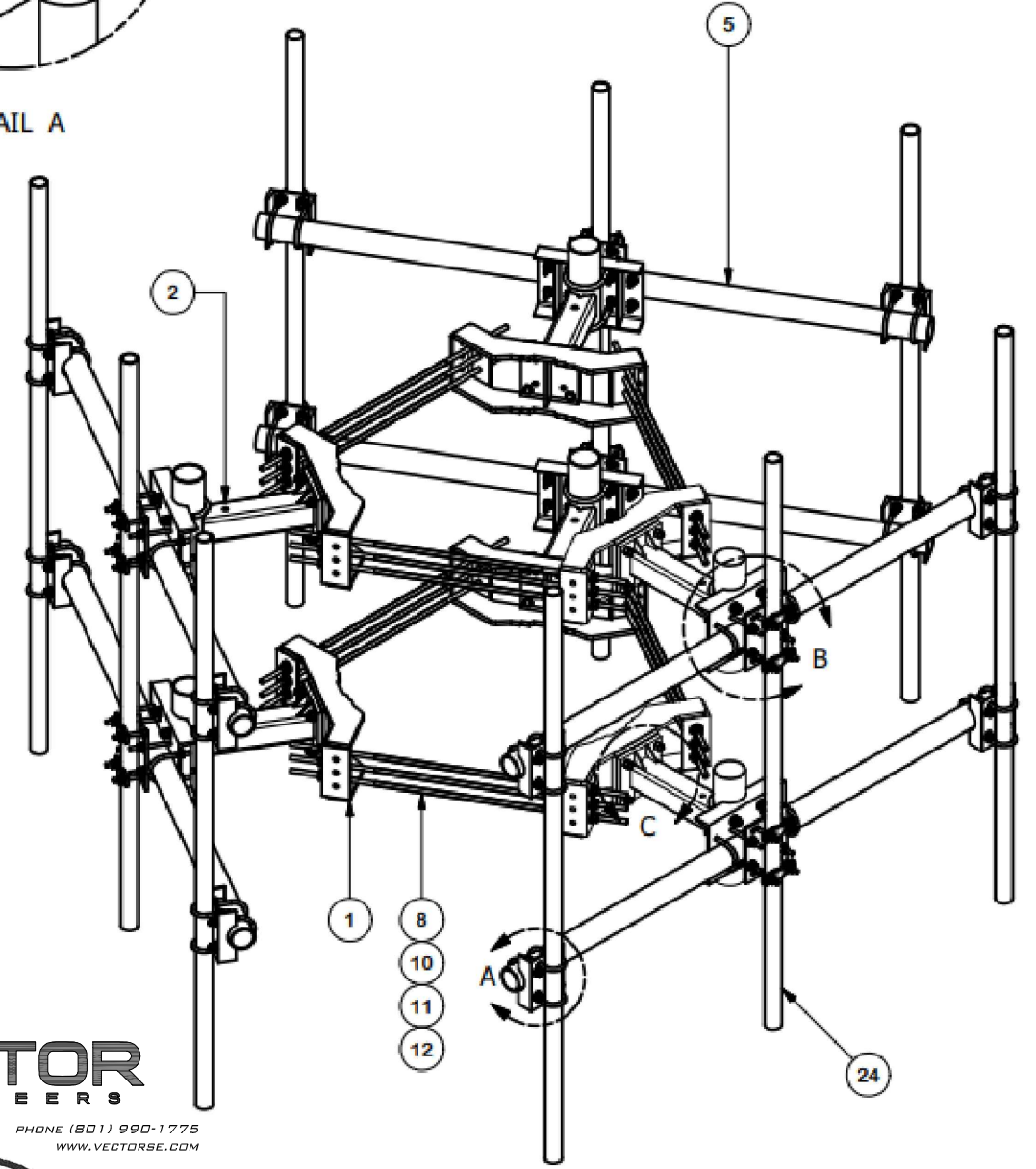
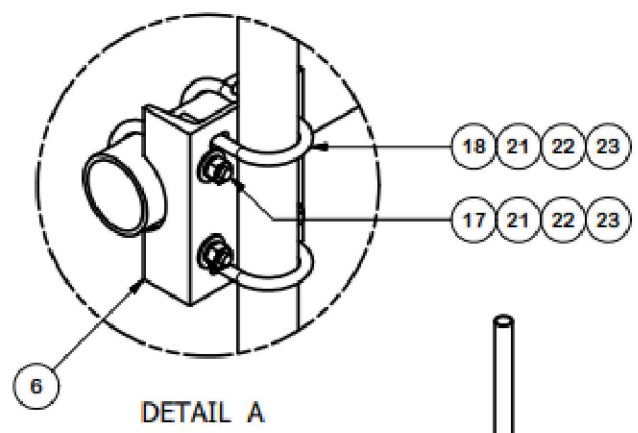
SHEET NUMBER

C-5

ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	6	X-LWRM	RING MOUNT WELDMENT		68.81	412.85
2	6	X-SV197-18	SUPPORT ARM WELDMENT - 18"		45.69	274.15
3	6	X-SP216	LARGE SUPPORT CROSS PLATE		22.08	132.46
4	6	SCX3	CROSSOVER PLATE	9.250 in	7.19	43.13
5	6	P396	3-1/2" X 96" (3" SCH 40) GALVANIZED PIPE	96.000 in	60.75	364.49
6	12	X-SP219	SMALL SUPPORT CROSS PLATE	8.250 in	8.61	103.33
7	12	X-100064	CLAMP (4" V-CLAMP) GALVANIZED		0.92	11.06
8	18	G58R-48	5/8" X 48" GALV THREADED ROD		4.39	79.03
8	18	G58R-24	5/8" X 24" THREADED ROD (HDG.)		2.09	37.63
9	12	X-UB5458	5/8" X 4-5/8" X 7" X 3" U-BOLT (HDG.)		1.54	18.42
10	36	G58FW	5/8" HDG USS FLATWASHER	.122	0.07	2.54
11	84	G58LW	5/8" HDG LOCKWASHER		0.03	2.19
12	36	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13	4.68
13	24	A58234	5/8" X 2-3/4" HDG A325 HEX BOLT	2.75	0.36	8.54
14	24	A58FW	5/8" HDG A325 FLATWASHER		0.03	0.82
15	48	A58NUT	5/8" HDG A325 HEX NUT		0.13	6.23
16	12	X-UB1358	1/2" X 3-5/8" X 5-1/2" X 3" U-BOLT (HDG.)		0.77	9.27
17	24	X-UB1306	1/2" X 3-5/8" X 6" X 3" U-BOLT (HDG.)		0.83	19.88
18	24	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63	15.00
19	24	G12R-8	1/2" X 8" THREADED ROD (HDG.)		0.45	10.71
20	24	G12045	1/2" X 4.5" HDG HEX BOLT GR5 FULL THREAD	4.5	0.30	7.15
21	216	G12FW	1/2" HDG USS FLATWASHER	0.095	0.03	7.36
22	192	G12LW	1/2" HDG LOCKWASHER	.125	0.01	2.67
23	192	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	13.75
24	9	A	B	C	D	E



"ASSEMBLY NO."	PART NO. "A"	PART DESCRIPTION "B"	LENGTH "C"	UNIT WT. "D"	TOTAL WT.
RMVD8-296-18	P296	2-3/8" O.D. SCH. 40 PIPE	96"	29.22	1,880.76
RMVD8-2120-18	P2120	2-2/8" O.D. SCH. 40 PIPE	120"	36.53	1,936.65



**TOLERANCE NOTES**

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:  
 SAWED, SHEARED AND GAS CUT EDGES ( $\pm 0.030"$ )  
 DRILLED AND GAS CUT HOLES ( $\pm 0.030"$ ) - NO CONING OF HOLES  
 LASER CUT EDGES AND HOLES ( $\pm 0.010"$ ) - NO CONING OF HOLES  
 BENDS ARE  $\pm 1/2$  DEGREE  
 ALL OTHER MACHINING ( $\pm 0.030"$ )  
 ALL OTHER ASSEMBLY ( $\pm 0.060"$ )

PROPRIETARY NOTE:  
 THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION			
8" DOUBLE MONOPOLE TRIPLE T-ARM W/ 2-3/8" ANTENNA PIPES & 18" STANDOFF			
CPD NO.	DRAWN BY	ENG. APPROVAL	PART NO.
	CMFL 11/23/2021	11/13/2020	RMVD8-2XX-18
CLASS	SUB	DRAWING USAGE	CHECKED BY
87	02	CUSTOMER	BMC 11/13/2020
DWG. NO.		PART NO.	
RMVD8-2XX-18		RMVD8-2XX-18	

Locations:  
New York, NY  
Atlanta, GA  
Los Angeles, CA  
Plymouth, IN  
Salem, OR  
Dallas, TX

Engineering Support Team:  
1-888-753-7446

A valmont COMPANY



651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020  
 PHONE (801) 990-1775  
 WWW.VECTORSE.COM



01/19/2023

VSE Project Number: U2350-821-231

1 ANTENNA MOUNT DETAIL  
N.T.S.

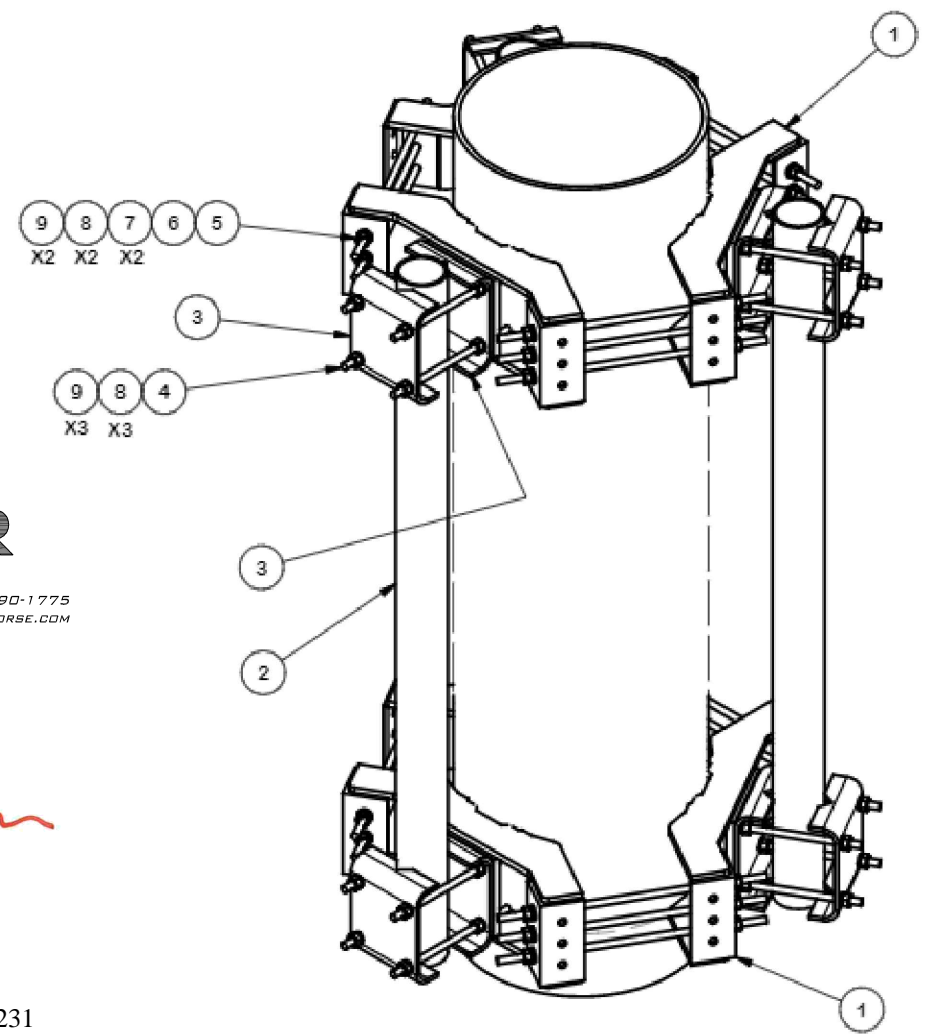
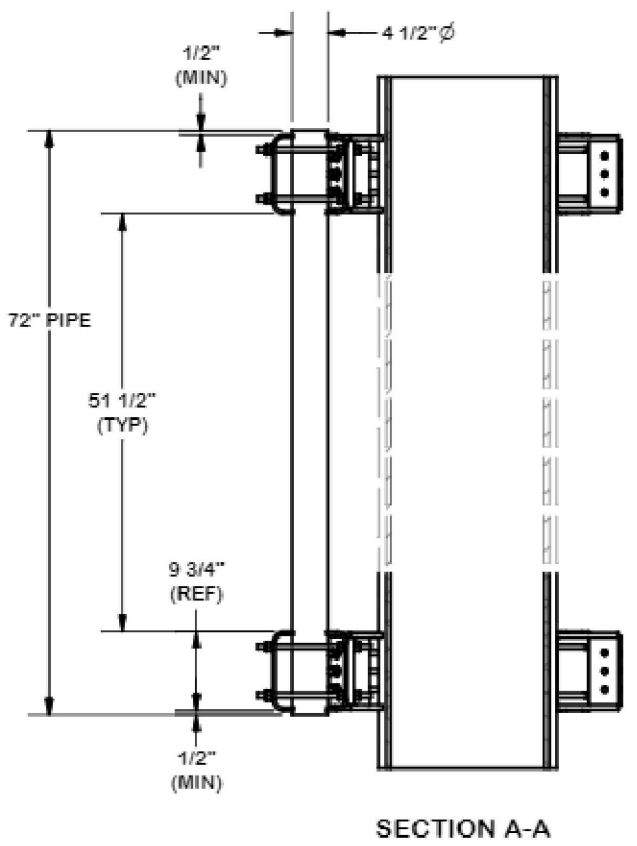
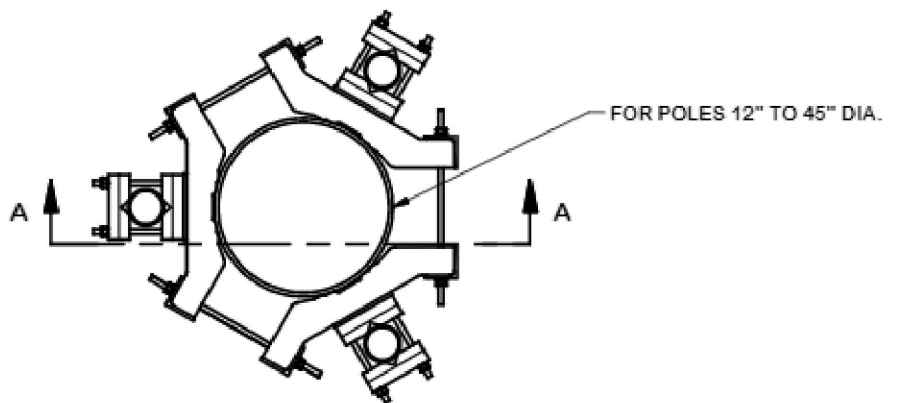
PAGE 2  
1 OF 2



SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT
1	6	X-LWRM	RING MOUNT WELDMENT		68.16	408.96
2	3	P472	4-1/2" X 72" SCH. 40 GALVANIZED PIPE	72 in	64.89	194.68
3	12	X-214130	BENT PLATE V-CLAMP	12 5/8 in	11.43	137.16
4	24	G58R-14	5/8" x 14" THREADED ROD (HDG.)	14 in	0.40	9.57
5	18	G58R-48	5/8" x 48" THREADED ROD (HDG.)	48 in	.55	9.90
6	18	G58R-24	5/8" x 24" THREADED ROD (HDG.)	24 in	.55	9.90
7	36	A58FW	5/8" HDG A325 FLATWASHER		.03	1.08
8	108	G58LW	5/8" HDG LOCKWASHER		0.03	3.24
9	108	A58NUT	5/8" HDG A325 HEX NUT		0.13	14.04
					TOTAL WT. #	788.53



**VECTOR ENGINEERS**  
651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020  
PHONE (801) 990-1775 WWW.VECTORSE.COM



01/19/2023  
VSE Project Number: U2350-821-231

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DRILLED AND GAS CUT HOLES ( $\pm 0.030"$ ) - NO CONING OF HOLES  
LASER CUT EDGES AND HOLES ( $\pm 0.010"$ ) - NO CONING OF HOLES  
BENDS ARE  $\pm 1/2$  DEGREE  
ALL OTHER MACHINING ( $\pm 0.030"$ )  
ALL OTHER ASSEMBLY ( $\pm 0.060"$ )

PROPRIETARY NOTE:  
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DESCRIPTION  
**MONOPOLE SECTOR FRAME ATTACHMENT ASSEMBLY**

**SITE PRO 1**  
A valmont COMPANY  
Locations:  
New York, NY  
Atlanta, GA  
Los Angeles, CA  
Plymouth, IN  
Salem, OR  
Dallas, TX  
Engineering Support Team:  
1-888-753-7448

CPD NO.	DRAWN BY	ENG. APPROVAL	PART NO.
	KC8 3/18/2016	3RD PARTY	MSFAA
CLASS	SUB	DRAWING USAGE	CHECKED BY
01	01	CUSTOMER	BMC 5/2/2016

DWG. NO.	PAGE
MSFAA	1 OF 1

1 ANTENNA MOUNT DETAIL  
N.T.S.

NO.	BY	DATE	DESCRIPTION
A	ZP	11/21/22	ISSUED FOR REVIEW
B	ZP	01/06/23	CLIENT COMMENTS
C	YK	01/18/23	CLIENT COMMENTS
D			

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY: ZP  
CHECKED BY: RM  
DATE: 01/06/23  
PROJECT #:

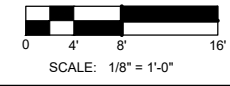
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SITE DETAILS & SPECIFICATIONS

SHEET NUMBER

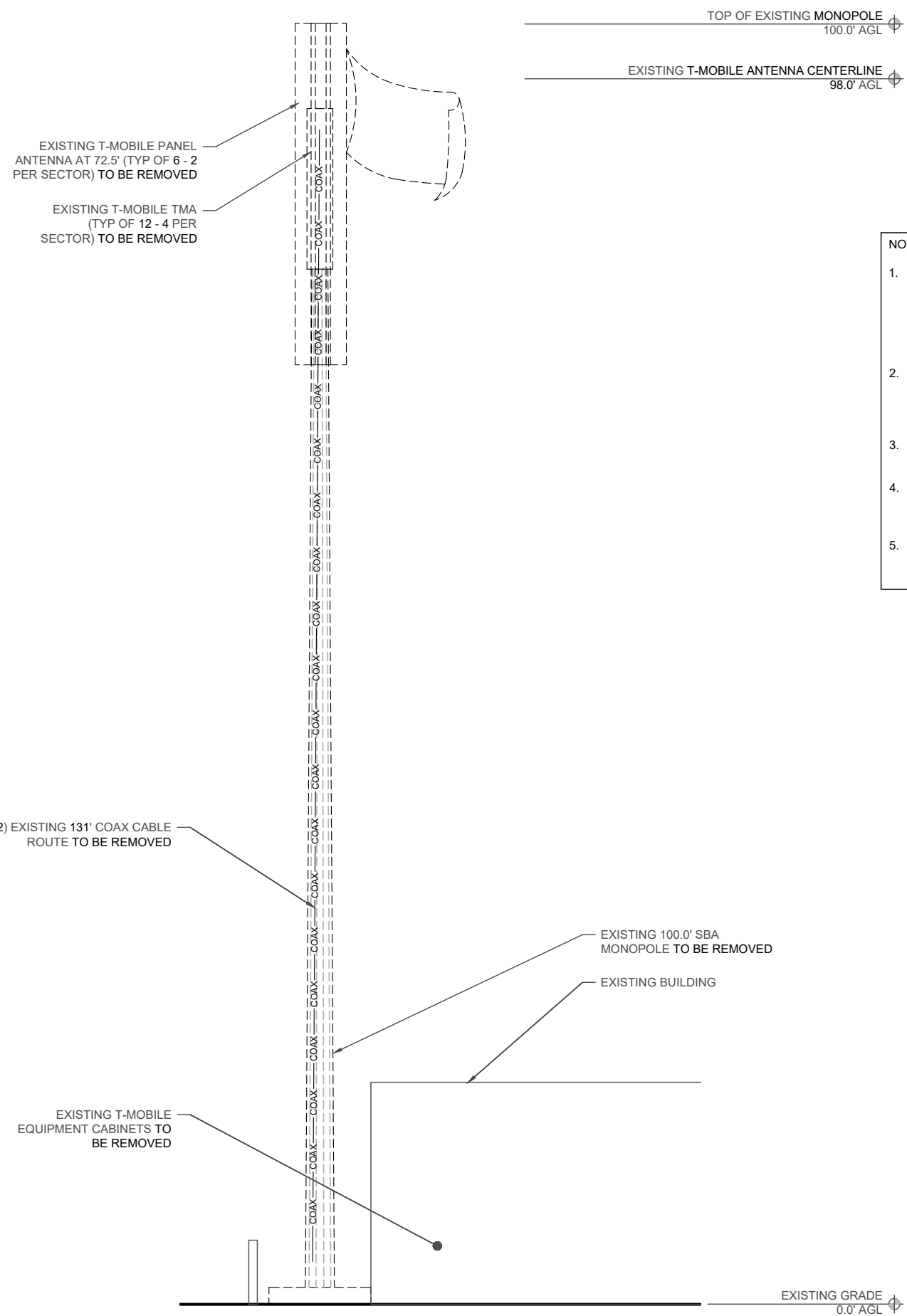
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SBA MONARCH TOWERS III, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483



SCALE: 1/8" = 1'-0"  
 22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.



- NOTE:
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  - ANTENNA MOUNT/PLATFORM ANALYSIS FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.

1 **SOUTHWEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



01/19/2023  
 VSE Project Number: U2350-821-231

REVISIONS

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	11/21/22	ZP
B	CLIENT COMMENTS	01/06/23	ZP
C	CLIENT COMMENTS	01/18/23	YK
D			

CA12916-A-01

**NORTH OROVILLE**

60 EAST GRAND AVE  
 OROVILLE, CA 95965

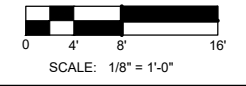
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CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
**EXISTING SITE ELEVATION**

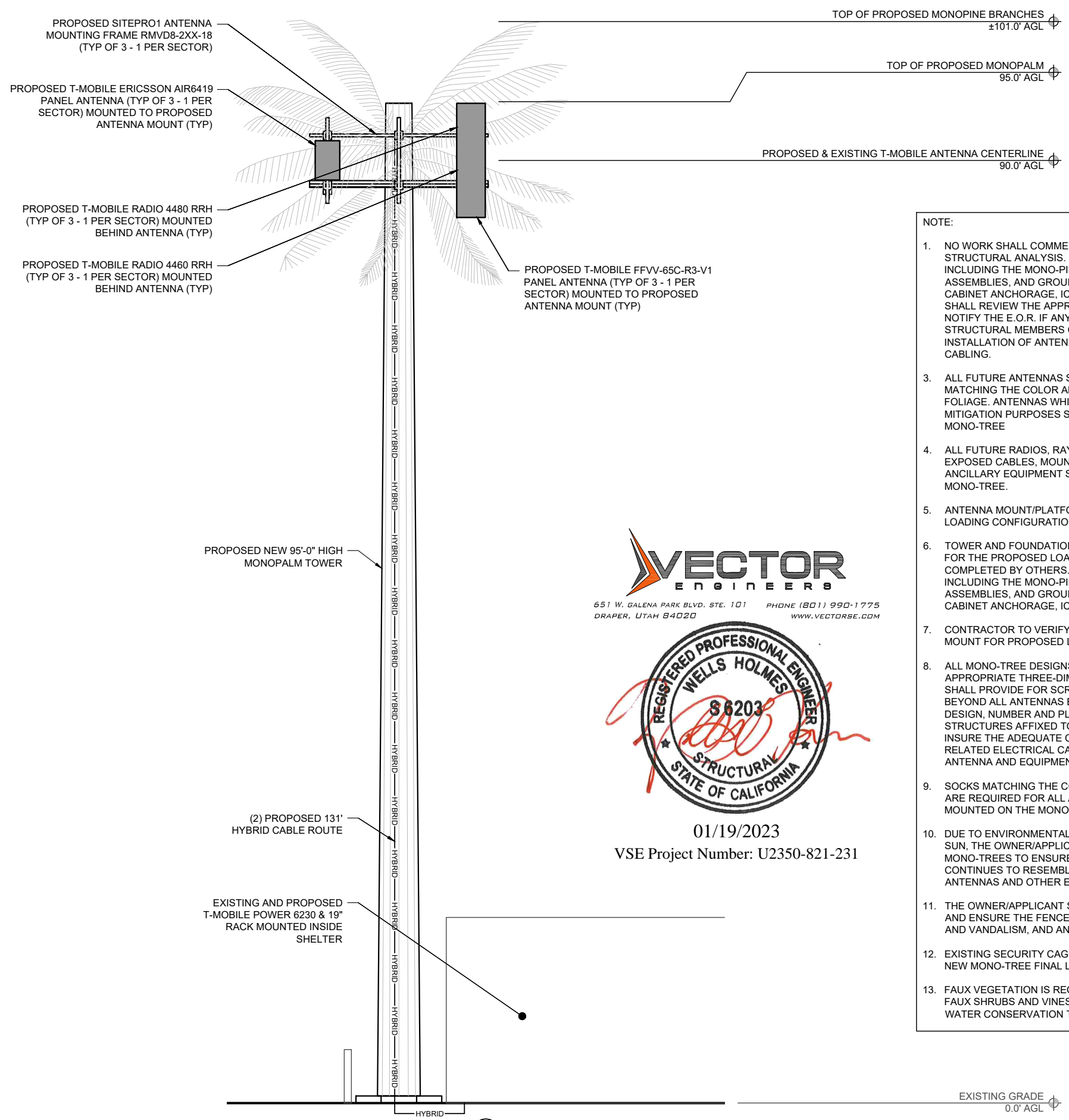
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SBA MONARCH TOWERS III, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
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  - FAUX VEGETATION IS REQUIRED BY LOCAL JURISDICTION - FAUX SHRUBS AND VINES FOR QUICK, FULL COVERAGE AND WATER CONSERVATION TO BE USED.

**VECTOR ENGINEERS**  
 651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020  
 PHONE (801) 990-1775 WWW.VECTORSE.COM



01/19/2023  
 VSE Project Number: U2350-821-231

1 **SOUTHWEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE	BY	
			ZP	RM
A	ISSUED FOR REVIEW	11/21/22	ZP	RM
B	CLIENT COMMENTS	01/06/23		
C	CLIENT COMMENTS	01/18/23		
D				

CA12916-A-01  
 NORTH OROVILLE  
 60 EAST GRAND AVE  
 OROVILLE, CA 95965

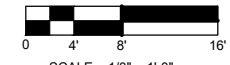
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 CHECKED BY: RM  
 DATE: 01/06/23  
 PROJECT #: -

SHEET TITLE  
**PROPOSED SITE ELEVATION**

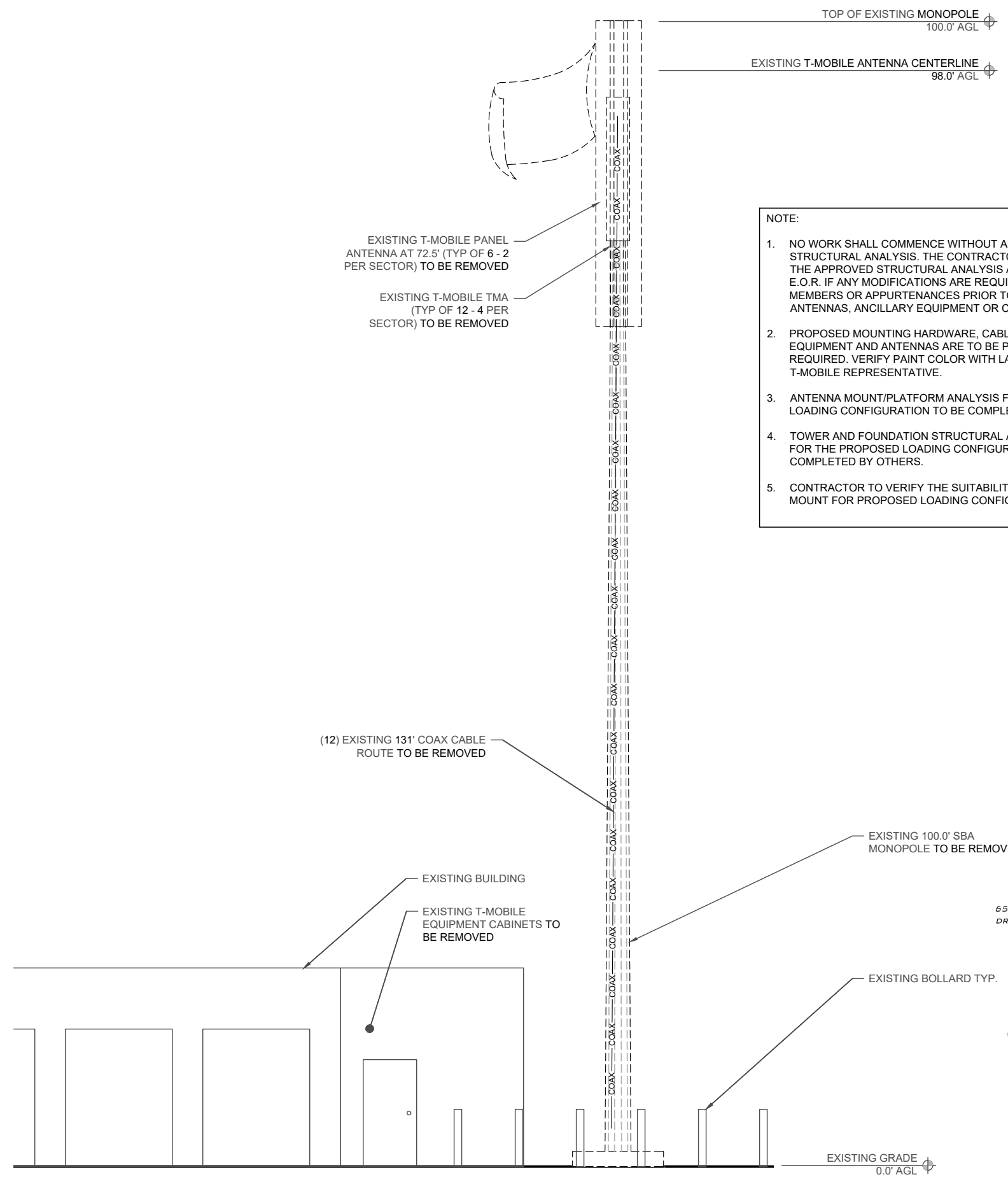
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SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



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  4. TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  5. CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.

**VECTOR ENGINEERS**  
651 W. GALENA PARK BLVD, STE. 101 DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTORSE.COM



01/19/2023  
VSE Project Number: U2350-821-231

1 **NORTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	11/21/22	ZP
B	CLIENT COMMENTS	01/06/23	ZP
C	CLIENT COMMENTS	01/18/23	YK
D			

CA12916-A-01

**NORTH OROVILLE**

60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY:	ZP
CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
**EXISTING SITE ELEVATION**

SHEET NUMBER  
**ANT-3**



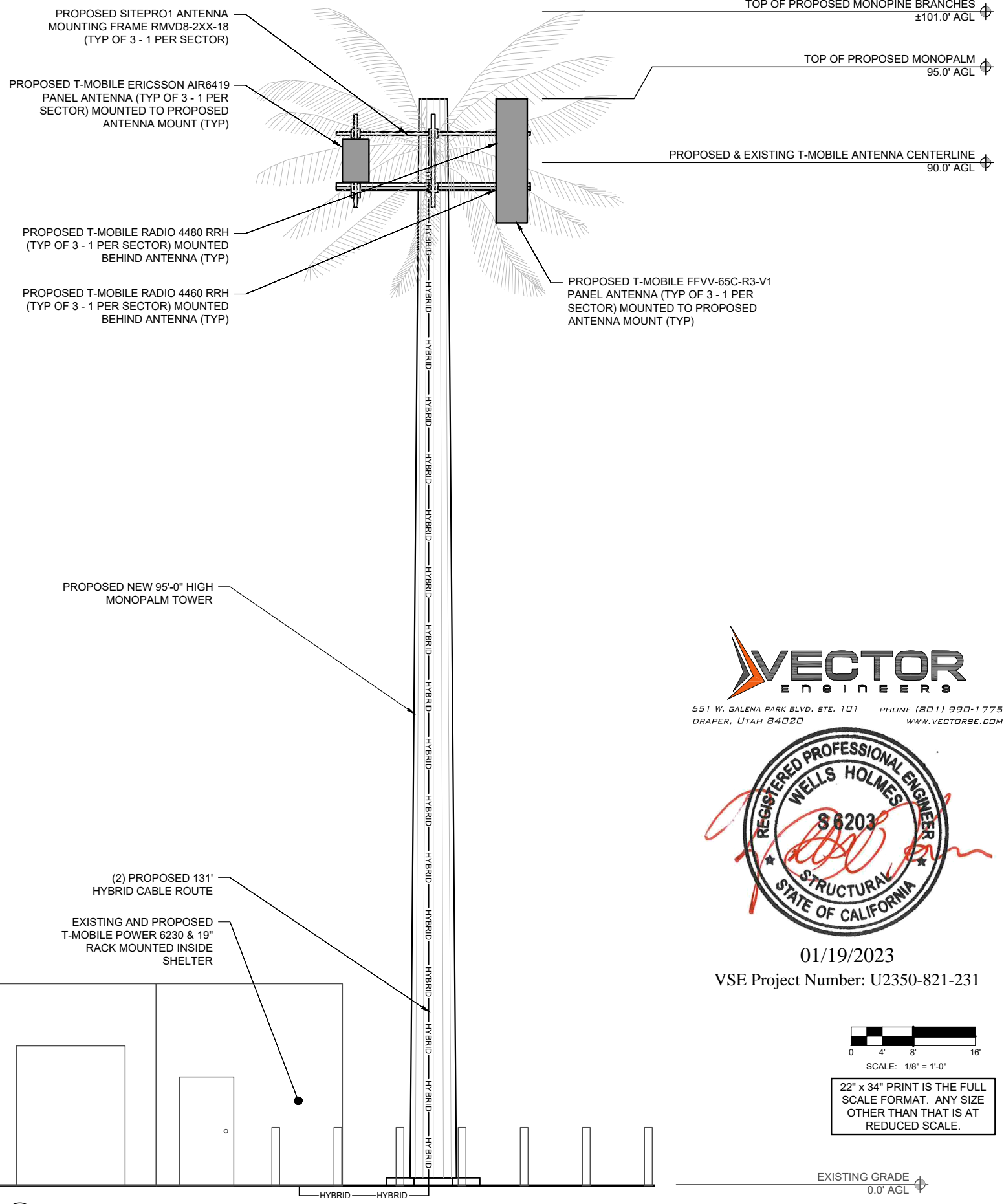
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A		11/21/22							
B		01/06/23							
C		01/19/23							
D									

CA12916-A-01  
NORTH OROVILLE  
60 EAST GRAND AVE  
OROVILLE, CA 95965

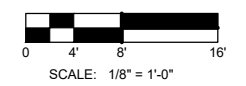
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CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
**PROPOSED SITE ELEVATION**

SHEET NUMBER  
**ANT-4**  
23



01/19/2023  
VSE Project Number: U2350-821-231



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## GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES. THE CONTRACTORS SHALL FURNISHED AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER
- CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER. ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ARCHITECTURE AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION.
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) -90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 M.P.H. WIND SPEED AND DESIGNED FOR EXPOSURE C.
- ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" RADIUS SWEEPS TO EQUIPMENT, PULLBOXES, MONO-PINE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- FUSE TYPE SHALL BE BUSSMAN RK1 LOW PEAK FUSE (LPU-RK-100).
- CONTRACTOR TO PROVIDE GUTTER TAP(S) AS REQUIRED.
- CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B PHASE), RED (A PHASE), WHITE (NEUTRAL), AND GREEN (GROUND).

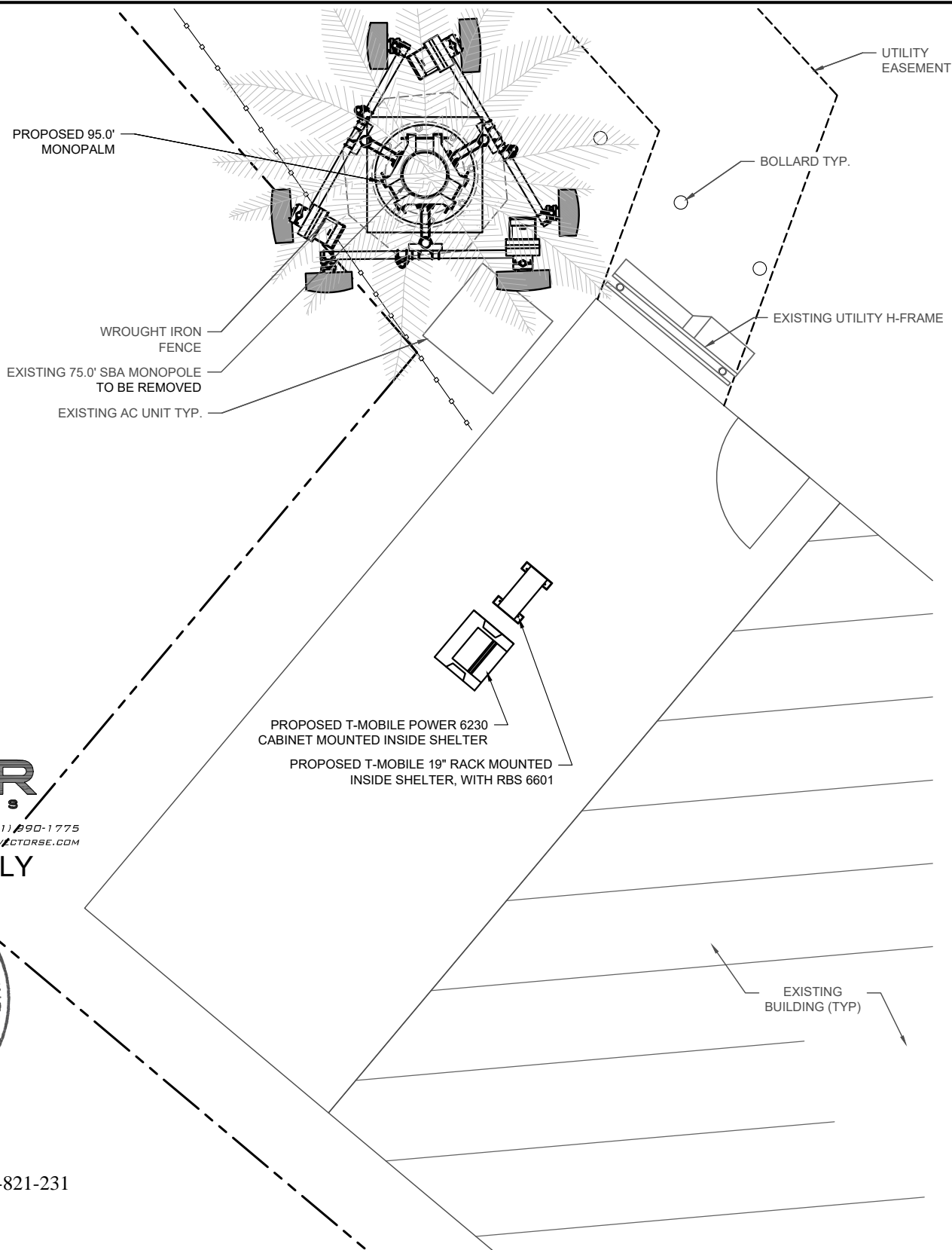
## CODES AND STANDARDS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
NEC	NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
UL	UNDERWRITERS LABORATORIES, INC.

## UTILITY PROVIDE INFORMATION

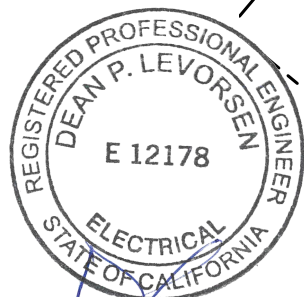
POWER COMPANY: POWER COMPANY NAME  
CONTACT: CONTACT NAME  
PHONE: (XXX) XXX-XXXX

FIBER COMPANY: FIBER COMPANY NAME  
CONTACT: CONTACT NAME  
PHONE: (XXX) XXX-XXXX



**VECTOR ENGINEERS**  
651 W. GALENA PARK BLVD. STE. 101 PHONE (801) 990-1775  
DRAPER, UTAH 84020 WWW.VECTORSE.COM

**ELECTRICAL ONLY**



01/19/2023

VSE Project Number: U2350-821-231



NOTE:  
ALL UTILITIES ARE EXISTING AND SHALL NOT BE MODIFIED

1 UTILITY ROUTING PLAN

NOTE:  
LINES SHOWN DO NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT RUNS CONTRACTOR TO VERIFY SERVICE LOCATIONS w/ACTUAL FIELD CONDITIONS.



REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	11/21/22	ZP		
B	CLIENT COMMENTS	01/06/23	ZP		
C	CLIENT COMMENTS	01/18/23	YK		
D					

CA12916-A-01

NORTH OROVILLE

60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY:	ZP
CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
UTILITY ROUTING PLAN

SHEET NUMBER

**E-1**





NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	11/21/22	ZP
B	CLIENT COMMENTS	01/06/23	ZP
C	CLIENT COMMENTS	01/18/23	YK
D			

CA12916-A-01  
 NORTH OROVILLE  
 60 EAST GRAND AVE  
 OROVILLE, CA 95965

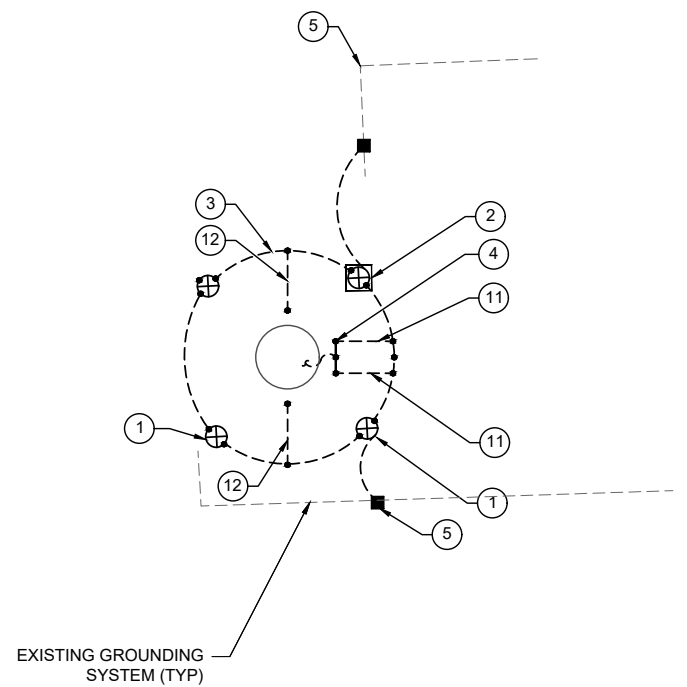
DRAWN BY:	ZP
CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
 SITE  
 GROUNDING PLAN  
 (MONO-EUCALYPTUS)

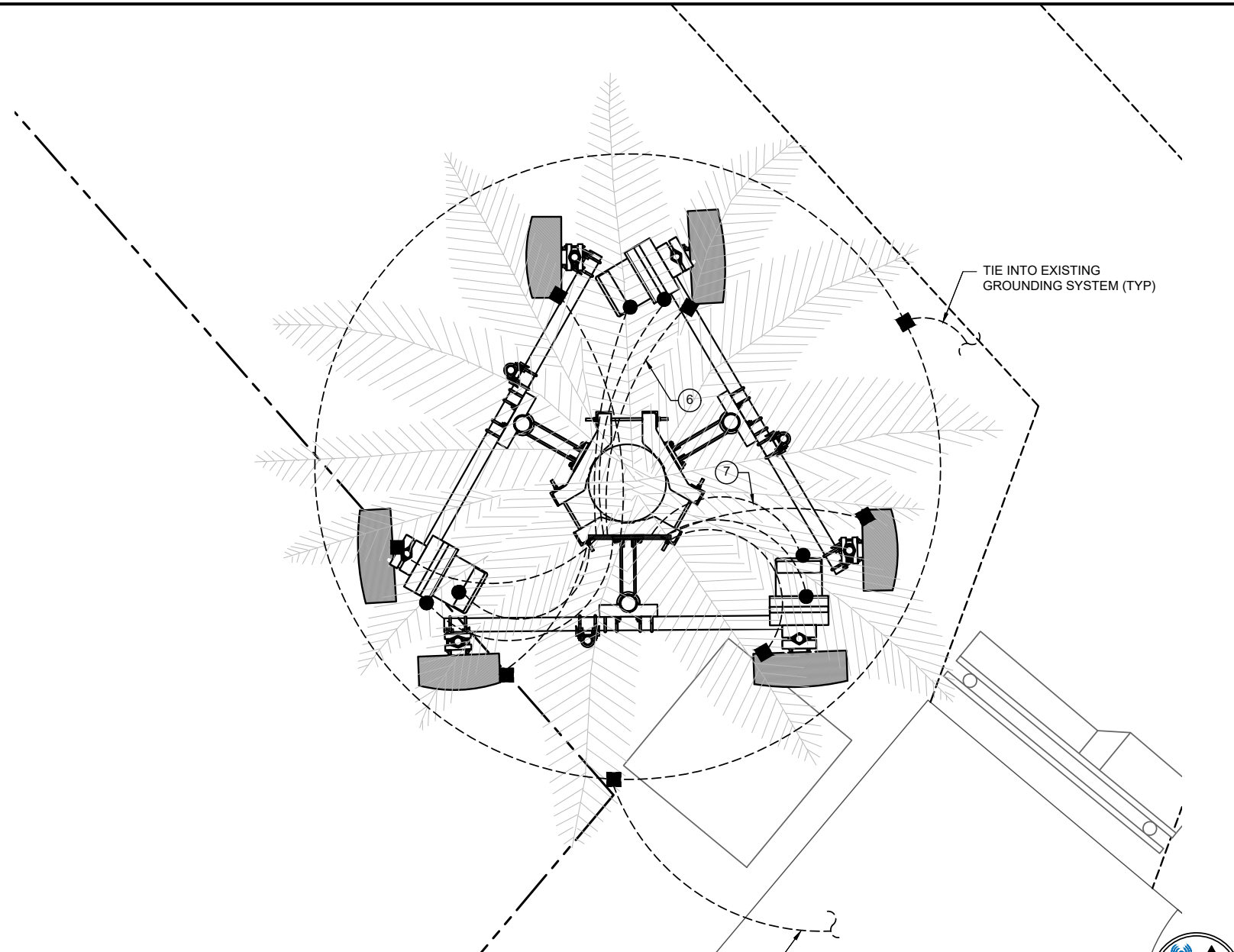
SHEET NUMBER  
**E-2**  
 25

**SYMBOLS LEGEND**

- GROUND ROD WITH ACCESS
- GROUND ROD
- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- GROUND BAR
- GROUND WIRE



**2 | PROPOSED MONO-PINE TOWER BASE GROUNDING**



NOTE:  
 THE GROUNDING SYSTEM IS EXISTING. CONTRACTOR SHALL TIE THE NEW TOWER GROUND RING INTO THE EXISTING SYSTEM PER SBA GROUNDING STANDARDS

**1 | SITE GROUNDING PLAN**  
 SCALE: N.T.S.

**BALLOON REFERENCE NOTES:**

- ① 5/8"Øx8' COPPER CLAD GROUND ROD BURIED 42" BELOW GRADE (MIN.)
- ② GROUND ROD ACCESS WELL (MIN. OF 2 EACH PER COMPOUND)
- ③ #2 SOLID, TINNED, BARE COPPER WIRE TOWER GROUND RING (CONTINUOUS STRAND). TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM TWO FEET OFF OF ANY STRUCTURE
- ④ 1/4"X4"X20" TINNED COPPER GROUND BAR. 2 TYP, AT BASE AND TOP OF TOWER. MOUNT DIRECT TO TOWER, DO NOT ISOLATE.
- ⑤ EXISTING COMPOUND GROUND RING
- ⑥ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO ANTENNA
- ⑦ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO RRU
- ⑧ PROVIDE #2 SBTC BOND FROM ICE BRIDGE TO EXISTING GROUND RING
- ⑨ PROVIDE (1) #2 SBTC GROUND LEAD FROM PROPOSED MONO-PINE TOWER RING TO STEEL ICE BRIDGE POST PER GROUNDING STANDARDS. BOND ALL ADJACENT POSTS.
- ⑩ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO DIPLEXERS
- ⑪ #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT MONO-PINE TOWER BASE TO GROUND RING. ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END. (2 TYPICAL)
- ⑫ #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM MONO-PINE TOWER BASE TO GROUND RING. (2 TYPICAL, 180° SEPARATION)
- ⑬ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO TMA'S

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01/19/2023  
 VSE Project Number: U2350-821-231



SBA MONARCH TOWERS III, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483



NO.	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	ZP	11/21/22
B	CLIENT COMMENTS	ZP	01/06/23
C	CLIENT COMMENTS	YK	01/18/23
D			

CA12916-A-01

NORTH OROVILLE

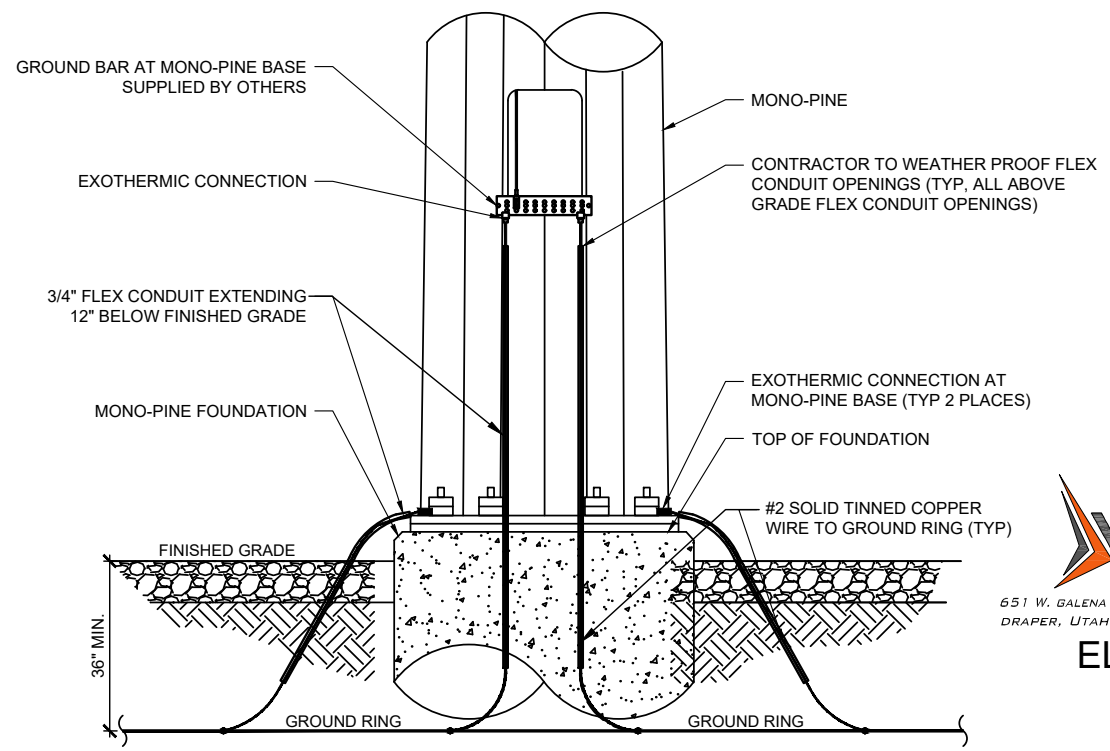
60 EAST GRAND AVE  
 OROVILLE, CA 95965

DRAWN BY:	ZP
CHECKED BY:	RM
DATE:	01/06/23
PROJECT #:	-

SHEET TITLE  
**ELECTRICAL AND GROUNDING DETAILS (MONO-PINE TOWER)**

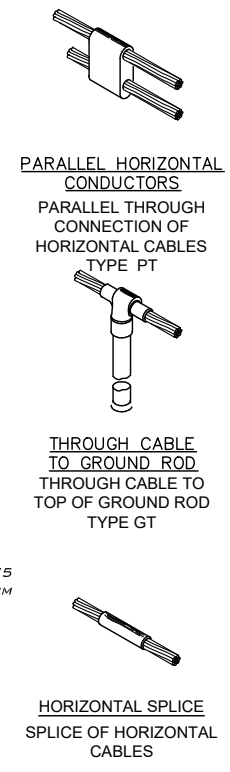
SHEET NUMBER

**E-3**



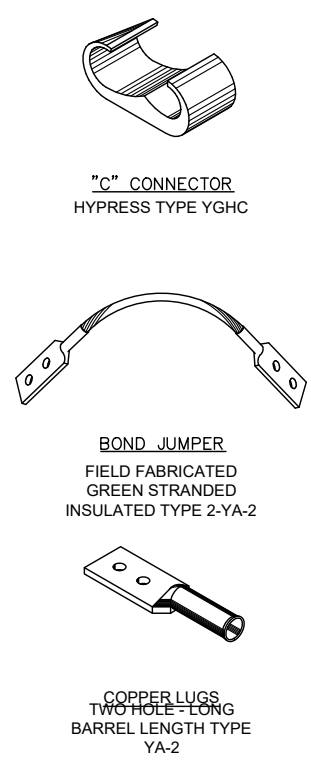
1 GROUNDING @ TOWER BASE  
 N.T.S.

**CADWELD CONNECTIONS**  
 (OR APPROVED EQUAL)



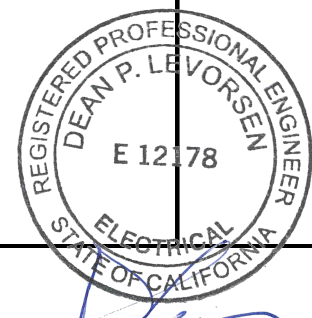
2 TYPICAL WELDING CONNECTIONS  
 N.T.S.

**BURNDY CONNECTIONS**  
 (OR APPROVED EQUAL)



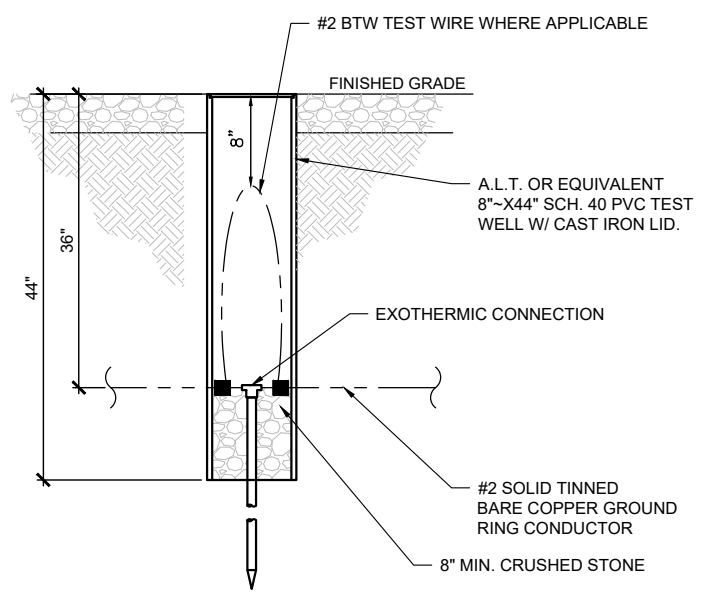
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 PHONE (801) 990-1775  
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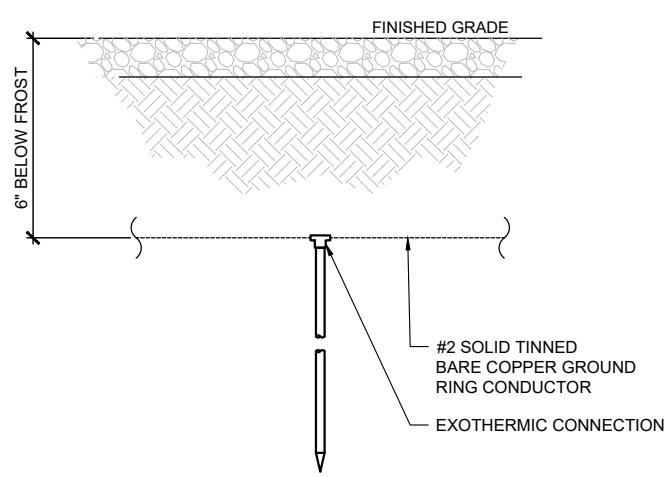


01/19/2023

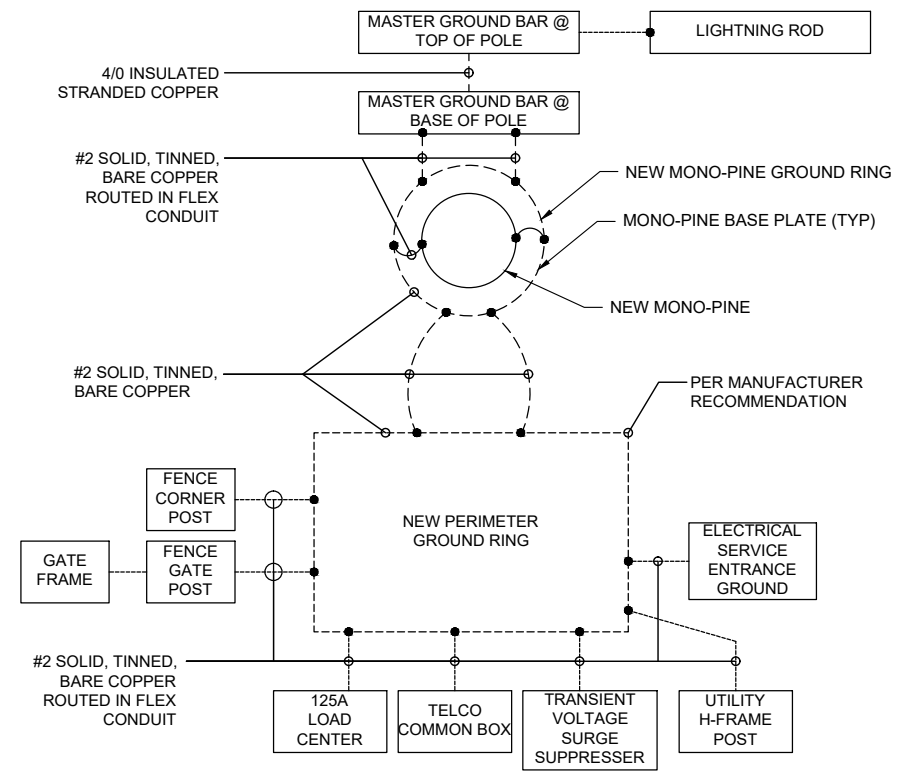
VSE Project Number: U2350-821-231



3 ACCESS WELL DETAIL  
 N.T.S.



4 GROUNDING ROD DETAIL  
 N.T.S.



5 GROUNDING SCHEMATIC  
 N.T.S.



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BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



120/240V 1Ø 3-WIRE MAIN CB: 2P/200A MOUNTING: SURFACE NEMA: 3R LOCATION: LEASE AREA

VOLT AMPS		DESCRIPTION	POLE	BRKR.	CIRCUIT		BRKR.	POLE	DESCRIPTION	VOLT AMPS	
PHASE A	PHASE B				A	B				PHASE A	PHASE B
-	-	SERVICE DISCONNECT	2	200			200	2	GEN. SERVICE DISCONNECT	-	-
-	-	TVSS	2	60	1		2	15	GFCI	180	-
-	-				3		4				
150	-	LIGHT	1	20	5		6	60	RBS 6102	4500	-
-	-	SPACE	1	-	7		8	50	UMTS	-	3500
-	-	SPACE	1	-	9		10	50		3500	-
-	-	SPACE	1	-	11		12	-	SPACE	-	-
-	-	SPACE	1	-	13		14	-	SPACE	-	-
-	-	SPACE	1	-	15		16	-	SPACE	-	-
-	-	SPACE	1	-	17		18	-	SPACE	-	-
-	-	SPACE	1	-	19		20	-	SPACE	-	-
-	-	SPACE	1	-	21		22	-	SPACE	-	-
-	-	SPACE	1	-	23		24	-	SPACE	-	-
150	-	VA/LINE								8,180	8,000
PHASE A = 8,330						PHASE B = 8,000					
TOTAL CONNECTED LOAD: 16,330 VA											
TOTAL DESIGN AMPS: 68.1A											

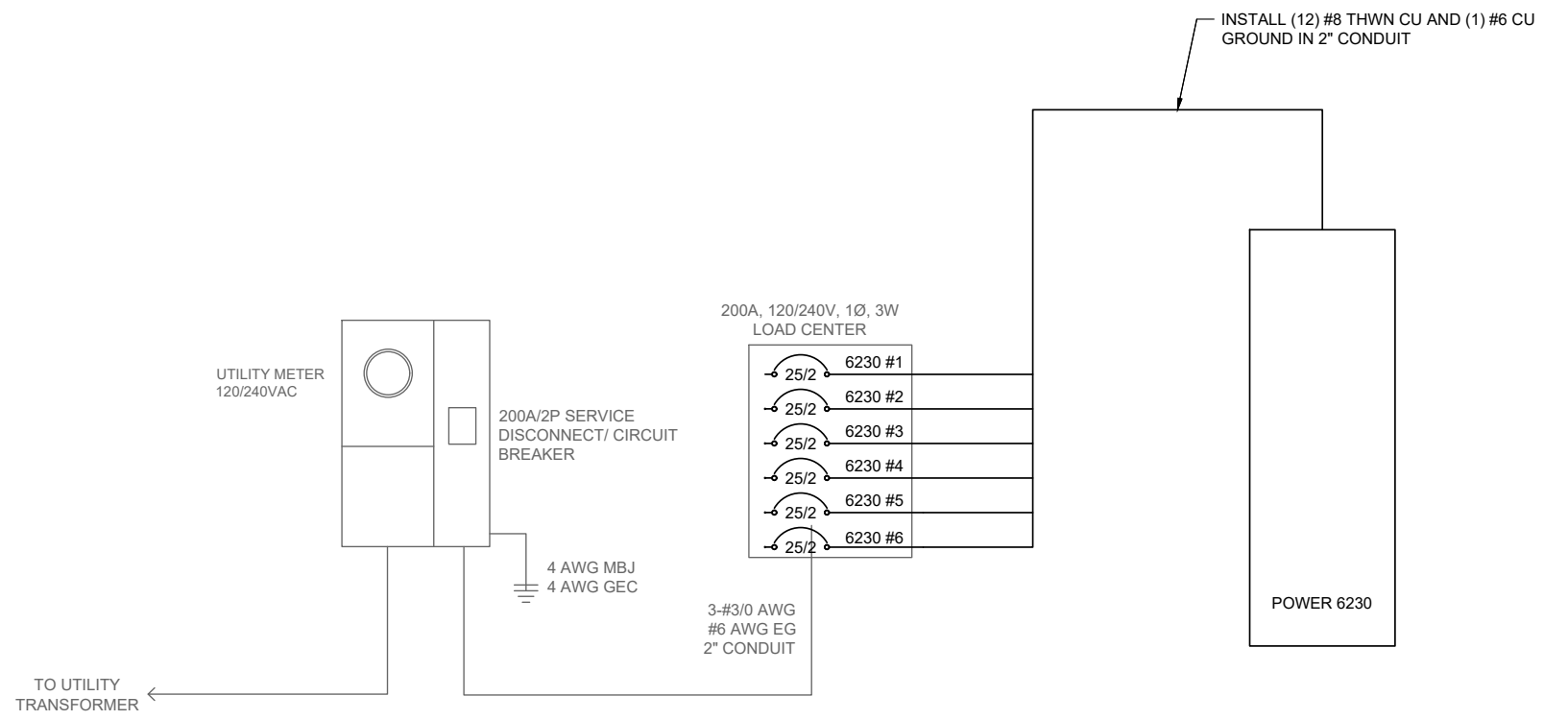
1 EXISTING PANEL SCHEDULE  
N.T.S.

120/240V 1Ø 3-WIRE MAIN CB: 2P/200A MOUNTING: SURFACE NEMA: 3R LOCATION: LEASE AREA

VOLT AMPS		DESCRIPTION	POLE	BRKR.	CIRCUIT		BRKR.	POLE	DESCRIPTION	VOLT AMPS	
PHASE A	PHASE B				A	B				PHASE A	PHASE B
-	-	SERVICE DISCONNECT	2	200			200	2	GEN. SERVICE DISCONNECT	-	-
-	-	TVSS	2	60	1		2	15	GFCI	180	-
-	-				3		4				
150	-	LIGHT	1	20	5		6	25	6230	2400	-
-	2400	POWER 6230 #1	2	25	7		8	50	UMTS	-	3500
2400	-				9		10				
-	2400	POWER 6230 #2	2	25	11		12	25	POWER 6230 #5	-	2400
2400	-				13		14				
-	2400	POWER 6230 #3	2	25	15		16	25	POWER 6230 #6	-	2400
2400	-				17		18				
-	-	SPACE	1	-	19		20	-	SPACE	-	-
-	-	SPACE	1	-	21		22	-	SPACE	-	-
-	-	SPACE	1	-	23		24	-	SPACE	-	-
7350	7200	VA/LINE								10,880	10,700
PHASE A = 18,230						PHASE B = 17,900					
TOTAL CONNECTED LOAD: 36,130 VA											
TOTAL DESIGN AMPS: 150.5A											

2 PROPOSED PANEL SCHEDULE  
N.T.S.

NO.	DESCRIPTION	BY	DATE	REVISIONS			
				ZP	ZP	YK	
A	ISSUED FOR REVIEW		1/12/22				
B	CLIENT COMMENTS		01/06/23				
C	CLIENT COMMENTS		01/18/23				
D							



3 ELECTRICAL SINGLE-LINE DIAGRAM  
N.T.S.

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01/19/2023  
VSE Project Number: U2350-821-231

CA12916-A-01  
NORTH OROVILLE  
60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY: ZP  
CHECKED BY: RM  
DATE: 01/06/23  
PROJECT #: -

SHEET TITLE  
SINGLE LINE DIAGRAM & PANEL SCHEDULE (UN-LIT)

SHEET NUMBER  
**E-4**  
27



SBA MONARCH TOWERS III, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWAY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



**GENERAL NOTES**

- ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR IT'S DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY. THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE TESTING AGENCY PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
- ALL PROPOSED CELLULAR EQUIPMENT AND FIXTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL ASPECTS OF THE EXISTING SITE, INCLUDING THE EXISTING MONOPOLE FOUNDATION AND ANCHOR RODS, TO VERIFY THE CONDITION AND SIZE OF ALL EXISTING ELEMENTS AND SHALL NOTIFY THE EOR SHOULD ANY DAMAGE OR DETERIORATION, OR DISCREPANCIES BETWEEN THE EXISTING STRUCTURE AND THAT SHOWN ON THE APPROVED STUCTURAL DRAWINGS BE FOUND.

**STRUCTURAL NOTES**

- DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE E1A/TIA-222-GH STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURES.
- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE A.I.S.C. CODE OF STANDARD PRACTICE.

**STRUCTURAL NOTES**

- STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE 8. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE 8. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D.1.1-96. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
- ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
- NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM OWNER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
- ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND AC1 301, AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI (U.O.N.). CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM 615 GRADE 80, DEFORMED BILLET STEEL BARS. WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185.
- THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
- HOT-DIP GALVANIZE ITEMS SPECIFIED TO BE ZINC-COATED. AFTER FABRICATION WHERE PRACTICAL. GALVANIZING: ASTM A 123, ASTM A 153/A 153M OR ASTM A 653/A 653M, G90, AS APPLICABLE.
- REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A 780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS. IN STICK OR PASTE, SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
- CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/ SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE MANUFACTURER'S SPECIFICATIONS ARE STRICTER.

**SPECIAL INSPECTION**

- IF REQUIRED, SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER CODE FOR THE FOLLOWING ITEMS:
  - CONTINUOUS DURING THE INSTALLATION OF EXPANSION AND/OR ADHESIVE ANCHORS, IF UTILIZED: INSPECT HOLE SIZE, DEPTH, CLEANLINESS, AND INSTALLATION PER ICC REPORT.
  - PERIODIC FOR HIGH STRENGTH BOLT INSTALLATIONS (A325), IF UTILIZED.
  - ADDITIONAL SPECIAL INSPECTIONS AS REQUIRED FOR FABRICATION AND INSTALLATION OF THE NEW MONO-PINE AND FOUNDATION OR VERIFICATION OF THE EXISTING MONOPOLE FOUNDATION AS SHOWN ON THE APPROVED STRUCTURAL CALCULATIONS AND DRAWINGS FOR THE MONO-PINE (BY OTHERS). FOR NEW FOUNDATIONS, SPECIAL INSPECTION SHALL INCLUDE, BUT NOT BE LIMITED TO:
    - EXCAVATIONS
    - REINFORCEMENT AND FORM PLACEMENT
    - ANCHOR ROD PLACEMENT
    - CONCRETE PLACEMENT, MIX DESIGN REVIEW, AND CONCRETE TESTING
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THEIR REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL AS EACH TEST IS COMPLETED. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
- ANY MATERIAL WHICH FAILS TO MEET THE PROJECT SPECIFICATIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. SPECIAL INSPECTION TESTING REQUIREMENTS APPLY EQUALLY TO ALL BIDDER DESIGNED COMPONENTS.
- INSPECTION FOR PREFABRICATION CONSTRUCTION SHALL BE THE SAME AS FOR THE MATERIAL USED IF THE CONSTRUCTION TOOK PLACE ON SITE. CONTINUOUS INSPECTION WILL NOT BE REQUIRED DURING PREFABRICATION IF THE APPROVED AGENCY CERTIFIES THE CONSTRUCTION AND FURNISHES EVIDENCE OF COMPLIANCE.
- THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

**UTILITIES**

- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
- DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. FOR GRASSED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE..
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY THE OWNER'S REQUIREMENTS.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS. SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

**PERMITS**

- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. (NOT SUPPLIED BY OWNER)
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS. (NOT SUPPLIED BY OWNER)
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR CLOSING AND FILING ALL PERMITS ASSOCIATED WITH SITE.

**GRADING**

- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

**PAINTING**

- CONTRACTOR TO COORDINATE PAINTING REQUIREMENTS WITH OWNER.
- PAINT COLORS SHALL BE SELECTED TO MATCH EXISTING COLORS AND TEXTURES.
- PROVIDE THE BEST QUALITY GRADE OF COATINGS AS REGULARLY MANUFACTURED BY APPROVED PAINT MATERIAL MANUFACTURERS. MATERIALS NOT DISPLAYING THE MANUFACTURER'S IDENTIFICATION AS A STANDARD, BEST-GRADE PRODUCT WILL NOT BE ACCEPTABLE.
- PROVIDE UNDERCOAT PAINT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COATS. USE ONLY THINNERS APPROVED BY THE PAINT MANUFACTURER AND USE ONLY WITHIN RECOMMENDED LIMITS.
- COMPLETELY COVER TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH, COLOR, APPEARANCE, AND COVERAGE. CLOUDINESS, SPOTTINGS, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPINESS, OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.
- ALL GRAFFITI ON ANY COMPONENT OF THE FACILITY SHALL BE REMOVED PROMPTLY IN ACCORDANCE WITH COUNTY REGULATIONS.
- ALL SUPPORTING EQUIPMENT IN THE LEASE AREA WILL BE PAINTED / TEXTURED TO MATCH PROPOSED FAUX MONO-PINE.
- ALL EQUIPMENT CABINETS SHALL DISPLAY A LEGIBLE OPERATOR'S CONTACT NUMBER FOR REPORTING MAINTENANCE PROBLEMS.
- ALL SUPPORTING EQUIPMENT IN THE LEASE AREA WILL BE PAINTED / TEXTURED TO MATCH PROPOSED FAUX MONO-PINE.
- ALL METALS SHALL BE PAINTED WITH THE FOLLOWING FINISHES:
  - STEEL - RED OXIDE METAL PRIMER
  - ALUMINUM - SEMI-GLOSS-ALKYD ENAMEL

**CONSTRUCTION REQUIREMENTS**

- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMPRESSIVE TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITH CLOSE OUT BOOK.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION, AS WELL AS TELCO SERVICE BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...).
- CONTRACTOR WILL HAVE A REPRESENTATIVE ON A WEEKLY CONFERENCE CALL TO PROVIDE SBA WITH SITE SPECIFIC UPDATES. CURRENTLY, THIS CONFERENCE CALL IS HELD EACH AND EVERY THURSDAY AT 4 PM (EASTERN TIME).
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SBA SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGER'S SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).
- CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.
- CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION SCHEDULE, CONSTRUCTION CLOSE-OUT LIST & TOWER HEIGHT VERIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.



01/19/2023

Project Number:

NO	DESCRIPTION	DATE	BY	REVISIONS
A	ISSUED FOR REVIEW	11/21/22	ZP	
B	CLIENT COMMENTS	01/06/23	ZP	
C	CLIENT COMMENTS	01/18/23	YK	
D				

**CA12916-A-01**

**NORTH OROVILLE**

60 EAST GRAND AVE  
OROVILLE, CA 95965

DRAWN BY: ZP

CHECKED BY: RM

DATE: 01/06/23

PROJECT #: -

SHEET TITLE  
**GENERAL NOTES**

SHEET NUMBER  
**GN-1**



# City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street  
 Oroville, CA 95965-4897  
 (530) 538-2430 FAX (530) 538-2426  
[www.cityoforoville.org](http://www.cityoforoville.org)

## USE PERMIT

**APPLICANT:** Horvath Towers, LLC  
 2051 Congress Avenue  
 Boca Raton, FL 33487

**LOCATION:** 60 E Grand Avenue (APN: 031-340-067)

**ZONING:** Limited Commercial (C-1)

**ORIGINAL ENTITLEMENT:** Use Permit No. 06-17

**NEW ENTITLEMENT:** Use Permit No. 23-06

**APPROVING RESOLUTION:** Resolution No. P2023-08

**TERM OF PERMIT:** 10 Years, expiring on April 30, 2033<sup>1</sup>

### Proposed Modifications:

- Replace an unmanned 100' monopole with a new 95.0' 'Monopalm' tower.
- Replace existing antennas with new antenna mount.
- Mount 12 new antennas, 3 each of four different types, at 90 feet.
- Removal of existing power cabinet and replace with a new power cabinet and 19" rack.
- New electrical will be required.
- Security access will be controlled, and an approved fire/police padlock will be installed.

**Approved project:** The City of Oroville Community Development Department has received a request to consider amending Use Permit No. 23-06 to replace the existing wireless telecommunications facility located at 60 E Grand Avenue (APN: 031-340-067) with a new tower, new antenna array and associated ground equipment. The project involves no expansion of any exterior equipment cabinets or shelters, a slight decrease in the height or area of the existing tower, and no increase in the lease area of the wireless telecommunications facility. It does involve a wider palm tree camouflage stealth installation at the top of the tower.

This project shall remain in substantial conformance with the Conditions of Approval as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission (per Oroville City Code §17.16.170(E)(4) and §17.16.170(F)(2).

<sup>1</sup> Per OMC 17.16.170(I)(1)

The Planning Commission hereby approves the proposed modifications to the existing site, subject to the following conditions:

### PERMIT CONDITIONS

1. Any temporary communication tower or “cell on wheels” (COW) shall be erected in compliance with the requirements of the Building Official. Any offsite COW will require a temporary use permit.
2. The applicant shall hold harmless the City, its Council members, Planning Commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs, and/or fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to this approval. Applicant further agrees to provide a defense for the City in any such action.
3. The applicant shall ascertain and comply with the requirements of all Federal, State, County and Local agencies as applicable to the proposed use and project site.
4. The project (Use Permit No. 06-17) shall remain in substantial conformance with the Conditions of Approval, as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission.
5. Wireless communication facilities shall comply with all applicable local, State and federal requirements, including but not limited to the General Plan, any applicable specific plan, the requirements of the Zoning Code, and all applicable Federal Communications Commission (FCC) rules, regulations and standards. If the facility requires an FCC license, the applicant shall provide a copy of the FCC license issued for the operation of this facility.
6. No wireless communication facility shall be sited or operated in such a manner that it poses, either by itself or in combination with other such facilities, a potential threat to public health. To that end, no wireless communication facility or combination of facilities shall produce at any time power densities that exceed the current FCC adopted standards for human exposure to RF fields.
7. To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, or upon the recommendation of the Zoning Administrator, the operator shall modify the placement of the facilities; install fencing, barriers or other appropriate structures or devices to restrict access to the

facilities; install signage, including the RF radiation hazard warning symbol identified in American National Standards Institute (ANSI) C95.2-1982 and multilingual warnings if deemed necessary by the Zoning Administrator to notify persons that the facility could cause exposure to RF emissions.

8. If the FCC RF emission standards are modified, the operator shall ensure that the facility is reevaluated for compliance with the new standards, and a recertification statement prepared by a NIER professional shall be submitted by the operator to the Zoning Administrator prior to the effective date of the new FCC RF emission standards.
9. A permit granted under these regulations shall become invalid if an operator of a wireless communication facility ceases to operate the facility under the terms of applicable regulations or under the specific Conditions of Approval for the facility. If the facility becomes non-compliant, the owner shall cease to operate the facility and remove it from its location within 90 days of being informed that the permit has become invalid.
10. All equipment associated with a wireless communication facility shall be removed within 90 days of the discontinuation of the use, and the site shall be restored to its original pre-construction condition. The operator shall agree to this removal as a condition of approval of each permit issued.
11. Permits for wireless communication facilities issued under these regulations shall be valid for 10 years, unless this term is changed through the permitting process.
12. All permits for wireless telecommunication facilities, regardless of the method by which they were originally issued, may be extended administratively by the Zoning Administrator upon verification of the permit-holder's continued compliance with the findings and conditions of approval under which the application was originally approved.
13. As part of the permit renewal process, the Zoning Administrator may require submittal of a certification by an NIER professional that the facility is being operated in accordance with all applicable FCC standards for RF emissions.
14. Applicable construction plans, calculations, specifications, applications, forms, etc., shall be submitted to the Building Division for review prior to start of construction. The applicant shall submit stamped engineered plans, if required, to the Building Division for approval prior to commencing work activities. All applicable plan review fees shall be paid at time of submittal.
15. All wireless communication facilities shall be screened to the maximum extent practicable.
16. All cabling between equipment and antennas shall be routed through the interior of a building wherever possible. Cable routed on a building exterior shall be encased in a tray or other architectural feature that has similar color and ornamentation to the

building exterior. Cable routed on the ground shall be buried. All cabling shall be performed in accordance with the Electrical Code.

- 17. All structures and grounds of the property shall be properly maintained, secured, kept in good repair and kept clean.
- 18. All private facilities, improvements, infrastructure, systems, equipment, common areas, etc. shall be operated and maintained in such a manner, and with such frequency, to ensure the public health, safety, and general welfare. All on-site signs shall be maintained in a clean readable condition at all times and all graffiti and vandalism shall be removed and repaired on a regular basis.
- 19. Pursuant to City Code Section 26-50.010(F), a use permit may be evaluated for revocation if the use permit if any of the terms or conditions of the permit have been violated or a law, including any requirement of the City's Zoning Code, has been violated in connection with the permit.

**--- End of Conditions ---**

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Wes Ervin, Principal Planner  
Community Development Department

Date



## RESOLUTION NO. P2023-08 WITH FINDINGS

### A RESOLUTION BY THE OROVILLE CITY PLANNING COMMISSION MAKING FINDINGS AND CONDITIONALLY APPROVING UP# 23-06 FOR A WIRELESS TOWER REPLACEMENT AT 60 EAST GRAND AVE (APN 031-340-067)

**WHEREAS**, the City of Oroville has received an application requesting approval of a use permit to allow a 95-foot-tall wireless telecommunications tower to replace an existing 100-foot tower on a 2.64±-acre property located at 60 East Grand Avenue, being further identified as Assessor's Parcel Number 031-340-067 ("Property"); and

**WHEREAS**, the application and site plan under review for the proposed use were received by the City on March 3, 2023, and the application has been assigned the file number of UP 23-06 and Tracking Number PL2303-003; and

**WHEREAS**, the Property is zoned *C-1/RBS*, and City zoning regulations for *C-1* zones require approval of a use permit for public utility facilities and similar uses as well as requiring a use Permit for structures greater than 60 feet in height; and

**WHEREAS**, the site is within an existing a mini-storage use approved by the City under UP 06-03 and DRB 06-06 which required applicable site improvements including frontage improvements, drainage, and landscaping; and

**WHEREAS**, the purpose of requiring a use permit for any type of land use is to assure that the specific proposed project on the specific proposed site will be compatible with other uses around it; and

**WHEREAS**, a draft Negative Declaration was prepared for the original Project, and a 20- day public review period was conducted from November 16 to December 6, 2006, and since the replacement tower is not significantly different than the original tower and will have no new environmental effects, a Notice of Exemption has been prepared for this project; and

**WHEREAS**, at a noticed public hearing, the Planning Commission considered the comments and concerns of public agencies, property owners, and members of the public who are potentially affected by approval of the Project described herein, and also considered City staffs report regarding the Project.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION as follows:**

**FIRST**, The Planning Commission finds that there is no evidence in the record to support a determination that there may be new potentially significant adverse environmental effects that will occur because of the project. Therefore, the appropriate CEQA document is a **Notice of Exemption**, which shall be filed with the County Clerk.

**SECOND**, The Commission makes the **following Findings with regard to Wireless telecommunications facilities:**

1. Per OMC 17.16.170(E)(4) – Enclosures and cabinets housing equipment related to a wireless communication facility shall meet setback and height restrictions for accessory buildings in their zoning districts. The enclosures and cabinets shall incorporate architectural details that are similar to other buildings on the site and shall be designed to minimize their visual impact. Underground vaults shall be used to meet these requirements if necessary.

*The existing enclosure – one of the mini storage units-- meets all setback and design requirements common to the area, and the new enclosure will be in the same location and continue to be properly screened.*

2. Per OMC 17.16.170(F)(2):

- a. No alternative site or design is available that would allow for issuance of an administrative permit for the facility.

*The replacement tower will be in the exact same location as the previously approved tower (original UP 06-17). The new stealth 'Monopalm' design is required to be stealth mounted per OMC 17.16.170(E)(1)(b). The palm stealth design will blend in with the surrounding area, which is dominated by palm trees and includes La Palma Drive which is lined exclusively with palm trees.*

- b. The facility either does not require a Radiofrequency (RF) Environmental Evaluation Report, or the RF Environmental Evaluation Report for the facility shows that the cumulative non-ionizing electromagnetic radiation (NIER) emitted by the facility and any nearby facilities will be consistent with FCC regulations.

*This antenna replacement and upgrade is in the same location, height, and distance from any receptors as the prior installation and thus a new RF evaluation for this project is not required per OMC 17.16.170(G)(2). In addition, the FCC has categorically excluded cellular transmitters (FCC 96-326). If any RF issues arise, Conditions No. 5, 6, &7 ensure that the facility will meet all FCC regulations regarding RF emissions standards, and if exceeded provides cause to revoke the use permit.*

- c. The facility will not have significant visual impacts.

*There will be a slight change in the visual impact of the new installation, adding another palm tree to an area with dozens of existing palm trees. The change from a “flagpole” monopole style to a “Monopalm” stealth style will not be a significant visual change in an area already dominated by urban features such as commercial buildings and telephone poles and a plethora of existing palm trees. Nor will the new tower screen anyone from a view of Table Mountain or other visible natural features. For these reasons the staff have not required submittal of a photosimulation and consider this to be an existing facility for the purposes of visual impacts. and*

**THIRD**, The Commission makes the following **findings with respect to Use Permits** per Section 17.48.101(E)(4) of the Code of the City of Oroville, which states that in considering an application for a use permit the Planning Commission shall make the following findings based on substantial evidence:

- a. The granting of the permit will not be incompatible with or detrimental to the general health, safety or public welfare of the surrounding area or of the city as a whole.

*Cellular communications facilities serve the residents of the City of Oroville and Butte County including emergency services organizations and personnel and have become a valuable and relied upon part of communications throughout the region and the state.*

- b. The proposed use follows sound principles of land use by having a suitable location relative to the community as a whole, as well as to transportation facilities, public services and other land uses in the vicinity.

*The proposed cellular tower in a commercial zone on a parcel that abuts residentially developed and zoned land. The tower location is approximately 120 feet from the closest residential parcel. The tower will not generate light, noise, or other effects that would interfere with adjacent residential uses. Visually, the tower will be disguised as a palm tree to provide for aesthetic compatibility.*

- c. Public utilities and facilities, including streets and highways, water and sanitation, are adequate to serve the proposed use or will be made adequate prior to the establishment of the proposed use.

*All utilities are in and established. The replacement tower will not require any additional utilities.*

- d. The location, size, design, and operating characteristics of the proposed use will be harmonious and compatible with the surrounding neighborhood and will not adversely affect abutting properties.

*The General Plan land use designation is Retail and Business Services which calls for commercial uses and structures and is considered compatible use.*

- e. The subject site is physically suitable for the type and intensity of land use being proposed.

*Telecommunication facilities are compatible with the Commercial Zone in which it is located.*

- f. The size, intensity and location of the proposed use will provide services that are necessary or desirable for the neighborhood and community as a whole.

*Cellular communications facilities serve the residents of the City of Oroville and Butte County including emergency services organizations and personnel and have become a valuable and relied upon part of communications throughout the region and the state.*

- g. The permit complies with all applicable laws and regulations, including the requirements of the general plan, of this title and of the city municipal code.

*Applicable conditions designed to protect the health and welfare of the general public have been included and made part of the Use Permit.*

**FOURTH**, the Commission approves Use Permit UP23-06, subject to the conditions described in the attached Approval Letter and authorizes the Planning staff to sign the letter on behalf of the Commissioners.

**I HEREBY CERTIFY** that the foregoing resolution was duly introduced and passed at a special meeting of the Planning Commission of the City of Oroville held on the 27<sup>th</sup> of April 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

APPROVE:

\_\_\_\_\_  
JACKIE GLOVER, ASSISTANT CITY CLERK

\_\_\_\_\_  
CARL DURLING, CHAIRPERSON



# City of Oroville

## COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street  
Oroville, CA 95965-4897  
(530) 538-2430 FAX (530) 538-2426  
[www.cityoforoville.org](http://www.cityoforoville.org)

### NOTICE OF EXEMPTION

**TO:** Butte County Clerk  
25 County Center Drive  
Oroville, CA 95965

**FROM:** City of Oroville  
1735 Montgomery Street  
Oroville, CA 95965

Project Title: Use Permit UP23-06 for a replacement wireless telecommunications tower in the same location as an existing wireless telecommunications tower by the same operator.

Project Location – Specific: 60 East Grand Avenue

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: The project applicant, Horvath Towers, LLC, has applied for Use Permit No. 23-06 to replace the existing 100’ wireless telecommunications facility located at 60 E Grand Avenue (APN: 031-340-067) with a new 95’ tower, new antenna array and associated ground equipment. The project involves no expansion of any exterior equipment cabinets or shelters, a slight decrease in the height or area of the existing tower, and no increase in the lease area of the wireless telecommunications facility. It does involve a wider palm tree camouflage stealth installation at the top of the tower. The subject property has a zoning designation of Limited Commercial (C1) and a General Plan land use designation of Retail Business Services. Per Oroville Municipal Code Section 17.16.170, the replacement tower is subject to a Use permit.

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: Nicole Comach on behalf of Horvath Towers, LLC

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
  - General Rule Exemption; Title 14, CCR, §15061(b)(3)
  - Replacement or Reconstruction; Title 14, CCR, §15302
  - Accessory Structures; Title 14, CCR, §15311
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

Replacement or Reconstruction; Title 14, CCR, §15302

Class 2 categorical exemptions consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. *The proposed tower will be a replacement of an existing cell tower on the same site and location. The tower will continue to be used for wireless cellular transmission and emergency services. Thus, this action is exempt from CEQA. The original tower was approved via a Negative Declaration.*

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

- Signed by Lead Agency
- Signed by Applicant